

PROJECT DATA

USE: GUARD HOUSE
BUILDING HEIGHT: 19'- 8"

USE: PAVILLION
BUILDING HEIGHT: 9'- 5 1/2"

LEGAL DESCRIPTION:

APN: GUARDHOUSE 670-131-14
PAVILLION 670-131-13

OCCUPANCY GROUP: B
GUARDHOUSE A2
PAVILLION VB

TYPE OF CONSTRUCTION: RSF 4 RESIDENTIAL SINGLE
ZONING: FAMILY 4 DU/AC

SPRINKLERS: YES

FOOTAGE DATA:

DEMO 149 SF
GUARDHOUSE 149 SF
PAVILLION 0 SF

CONSTRUCT 205 SF
GUARDHOUSE 205 SF
PAVILLION 0 SF

REMODEL 535 SF
GUARDHOUSE 0 SF
PAVILLION 535 SF

LANDSCAPE AND HARDSCAPE				
APN	TOTAL AREA OF LOT	TOTAL LANDSCAPE OF LOT	TOTAL HARDSCAPE OF LOT	PERCENTAGE OF LOT LANDSCAPED
APN 670-131-15	5,749 SF	598 SF	5,151 SF	10.4%
APN 670-131-14	9,327 SF	1,936 SF	7,391 SF	20.8%
APN 670-131-13	50,530 SF	24,887 SF	25,643 SF	50.2%
TOTAL	65,606 SF	27,421 SF	38,185 SF	61.7%

GUARDHOUSE
PROPOSED BUILDING AREA: 205 SF
FLR 1 : 205 SF
FOOTPRINT BLDG: 503 SF
STORIES: 1
PARKING SPACES: 6

PAVILLION
EXISTING BUILDING AREA: 535 SF
SEATING AREA: 389 SF
STORAGE: 73 SF
BATHROOMS: 73 SF
PROPOSED BUILDING AREA: 0 SF
FOOTPRINT BLDG: 606 SF
STORIES: 1
PARKING SPACES: 0

ADDITIONAL INFORMATION:

FIRE ZONE: NHFA PER F001 – VHFHSZ

SCOPE OF WORK

GUARDHOUSE:
EXISTING GUARDHOUSE TO BE DEMOLISHED AND REPLACED WITH NEW GUARDHOUSE. NEW GUARDHOUSE HAS ONE LANE OF TRAFFIC COVERED AND ONE LANE NOT COVERED. CHANGE OF GATE.

PAVILLION:
EXISTING PAVILION TO REMAIN AND RENOVATED WITH EXISTING TWO NON-CONFORMING RESTROOMS WILL BE COMBINED INTO ONE ADA UNISEX RESTROOM. EXTERIOR IMPROVEMENTS INCLUDE STONE VENER TO THE EXISTING STRUCTURE WALLS AND COLUMNS AS WELL AS NEW FASCIA AND SOFFIT TO THE EXISTING ROOF. EXISTING SKYLIGHTS TO BE REPLACED IN SAME LOCATIONS. TWO NEW COUNTERS TO BE ADDED.

PER LANDSCAPE:
VARIOUS SITE-WORK IMPROVEMENTS ARE PROPOSED INCLUDING PLANTING, SITE AND RETAINING WALLS, SURFACING, PEDESTRIAN PATHS, SIGNAGE, AND A WATER FEATURE.

GOVERNING CODES

2019 CALIFORNIA BUILDING CODE (CBC)
2019 CALIFORNIA MECHANICAL CODE (CMC)
2019 CALIFORNIA PLUMBING CODE (CPC)
2019 CALIFORNIA ELECTRICAL CODE (CEC)
2019 CALIFORNIA ENERGY STANDARDS (CBEEs)
2019 CALIFORNIA GREEN BUILDING CODE (CalGreen)
2019 CALIFORNIA FIRE CODE (CFC)

SHEET LIST

#	SHEET NAME	REVISION
02 - ARCHITECTURAL		
A-001	TITLE	1
A-101	SITE PLAN	1
A-101.1	ACCESSIBILITY STANDARDS - COMMON AREAS	1
A-101.2	ACCESSIBILITY STANDARDS - COMMON AREAS	1
A-101.3	ACCESSIBILITY STANDARDS - STAIRS / RAMPS	1
A-101.4	ACCESSIBILITY STANDARDS - SIGNAGE	1
A-504	ROOF DETAILS	1
A-505	ROOF DETAILS	1
A-508	MANUFACTURER DETAILS	1
A-801	DOOR & WINDOW SCHEDULE	1
A.A-100	EXISTING CONDITION - GUARDHOUSE	1
A.A-101	DEMO PLAN - GUARDHOUSE	1
A.A-110	FLOOR PLAN - GUARDHOUSE	1
A.A-111	ENLARGED FLOOR PLAN - GUARDHOUSE	1
A.A-112	REFLECTED CEILING PLAN - GUARDHOUSE	1
A.A-113	ROOF PLAN - GUARDHOUSE	1
A.A-201	SOUTH AND EAST ELEVATIONS - GUARDHOUSE	1
A.A-202	NORTH AND WEST ELEVATIONS - GUARDHOUSE	1
A.A-301	BUILDING SECTIONS - GUARDHOUSE	1
A.A-503	ROOF + CEILING DETAILS - GUARDHOUSE	1
A.A-504	WINDOW+WALL DETAILS - GUARDHOUSE	1
A.A-902	MATERIAL BOARD-GUARDHOUSE	1
A.B-100	EXISTING CONDITION - PAVILLION (SITE)	1
A.B-101	DEMO PLAN - PAVILLION	1
A.B-110	FLOOR PLAN - PAVILLION	1
A.B-111	ENLARGED FLOOR PLAN - PAVILLION	1
A.B-112	REFLECTED CEILING PLAN - PAVILLION	1
A.B-113	ROOF PLAN - PAVILLION	1
A.B-201	SOUTH AND EAST ELEVATIONS - PAVILLION	1
A.B-202	NORTH AND WEST ELEVATIONS - PAVILLION	1
A.B-301	BUILDING SECTIONS - PAVILLION	1
A.B-503	ROOF + CEILING DETAILS - PAVILLION	1
A.B-504	WINDOW+WALL DETAILS - PAVILLION	1
A.B-902	MATERIAL BOARD-PAVILLION	1
03 - STRUCTURAL		
S0.1	GENERAL NOTES	1
S0.2	GENERAL NOTES	1
S0.3	GENERAL NOTES	1
S2.0	FOUNDATION PLAN	1
S2.1	LOWROOF FRAMING PLAN	1
S2.2	HIGHROOF FRAMING PLAN	1
S4.1	STRUCTRUAL DETAILS	1
S4.2	STRUCTRUAL DETAILS	1
S5.1	STRUCTRUAL DETAILS	1
S5.2	STRUCTRUAL DETAILS	1
S5.3	STRUCTURAL DETAILS	1
06 - PLUMBING		
P-0.0	PLUMBING NOTES & SCHEDULES	1
P-1.0	PLUMBING PLANS	1
07 - MECHANICAL		
M-0.0	MECHANICAL NOTES & SCHEDULES	1
M-1.0	MECHANICAL TITLE 24	1
M-1.1	MECHANICAL TITLE 24	1
M-1.2	MECHANICAL TITLE 24	1
M-1.3	MECHANICAL TITLE 24	1
08 - ELECTRICAL		
E-0.0	ELECTRICAL SPECIFICATION	1
E-0.1	SINGLE LINE DIAGRAM/ SCHEDULES	1
E-1.0	SITE PLAN	1
E-1.1	ELECTRICAL PLAN-ENLARGED	1
E-2.0	TITLE 24- INDOOR	1
E-2.1	TITLE 24- OUTDOOR	1
09 - LANDSCAPE		
TS-1	TITLE	1

MONARCH BAY

MONARCH BAY DRIVE,
DANA POINT, CA 92629

SHEET LIST

#	SHEET NAME	REVISION
D-1	LANDSCAPE DEMOLITION PLAN	1
D-2	LANDSCAPE DEMOLITION PLAN	1
D-3	LANDSCAPE DEMOLITION PLAN	1
CL-1	CONSTRUCTION LAYOUT PLAN	1
CL-2	CONSTRUCTION LAYOUT PLAN	1
CL-3	CONSTRUCTION LAYOUT PLAN	1
FS-1	FINISH SCHEDULE	1
CD-1	CONSTRUCTION DETAILS	1
CD-2	CONSTRUCTION DETAILS	1
CD-3	CONSTRUCTION DETAILS	1
CD-4	CONSTRUCTION DETAILS	1
CD-5	CONSTRUCTION DETAILS	1
CD-6	CONSTRUCTION DETAILS	1
CD-7	CONSTRUCTION DETAILS	1
CD-8	CONSTRUCTION DETAILS	1
CD-9	CONSTRUCTION DETAILS	1
CD-10	CONSTRUCTION DETAILS	1
CD-11	CONSTRUCTION DETAILS	1
CS-1	CONSTRUCTION SPECIFICATIONS	1
IR-1	IRRIGATION LAYOUT PLAN	1
IR-2	IRRIGATION LAYOUT PLAN	1
IR-3	IRRIGATION LAYOUT PLAN	1
ID-1	IRRIGATION LAYOUT PLAN	1
ID-2	IRRIGATION LAYOUT PLAN	1
ID-3	IRRIGATION LAYOUT PLAN	1
PL-1	PLANTING LAYOUT PLAN	1
PL-2	PLANTING LAYOUT PLAN	1
PL-3	PLANTING LAYOUT PLAN	1
PD-1	PLANTING DETAILS	1
PS-1	PLANTING SPECIFICATIONS	1
S1	GENERAL NOTES	1
S2	CONSTRUCTION DETAILS	1
S3	OVERHEAD STRUCTURE	1
LP-1	PLANTING LAYOUT PLAN	1
LP-2	PLANTING LAYOUT PLAN	1
LP-3	PLANTING LAYOUT PLAN	1
LP-4	PLANTING LAYOUT PLAN	1

PROJECT DIRECTORY

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GENERAL NOTES

- ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE LOCAL BUILDING CODES AND REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS APPLICABLE TO SPECIFIC TRADES OR SUBCONTRACTORS
- CONTRACTOR WILL HAVE EXAMINED THE PREMISES AND SITE SO AS TO COMPARE THEM WITH THE DRAWINGS AND WILL HAVE SATISFIED HIMSELF AS TO THE CONDITION OF THE EXISTING WORK AN ADJACENT PROPERTY PRIOR TO SUBMISSION OF BID. NO ALLOWANCES WILL SUBSEQUENTLY BE MADE ON BEHALF OF THE CONTRACTOR BY REASON OF ANY OMISSION ON HIS PART TO INCLUDE THE COSTS OF ALL ITEMS OF WORK, EITHER LABOR OR MATERIALS, WHETHER THEY ARE OR ARE NOT SHOWN OR NOTED BUT WHICH ARE IMPLIED OR REQUIRED TO ATTAIN THE COMPLETED CONDITIONS PROPOSED IN THE DRAWINGS.
- ALL SUBCONTRACTORS TO THE GENERAL CONTRACTOR SHALL INSPECT THE SITE AND SHALL CONVEY ANY QUESTIONS REGARDING DESIGN INTENT AND S COPE OF WORK TO THE ARCHITECT PRIOR TO SUBMITTING BID AND PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL COORDINATE THE WORK OF THE VARIOUS TRADES AND SUBCONTRACTORS AND SHALL BE RESPONSIBLE FOR ANY ACTS, OMISSIONS, OR ERRORS OF THE SUBCONTRACTORS AND OF PERSONS DIRECTLY OR INDIRECTLY EMPLOYED BY THEM.
- CONTRACTOR TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS INCLUDING SAFETY OF PERSONS AND PROPERTY FOR THE DURATION OF THE PROJECT.
- CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY AND PRIOR TO ORDERING OF ALL LONG LEAD ITEMS AND OF APPROXIMATE DELIVERY DATES
- ALL CONSTRUCTION MATERIALS AND SUPPLIES TO BE STORED, HANDLED AND INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS
- IF ERRORS OR OMISSIONS ARE FOUND IN THE DRAWINGS, THEY SHALL BE BROUGHT TO THE ATTENTION TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK
- DRAWINGS SCHEMATICALLY INDICATE NEW CONSTRUCTION. THE CONTRACTOR SHOULD ANTICIPATE, BASED ON EXPERIENCE, A REASONABLE NUMBER OF ADJUSTMENTS TO BE NECESSARY TO MEET THE DESIGN OBJECTIVES AND SHOULD CONSIDER SUCH ADJUSTMENTS AS INCLUDED IN THE SCOPE OF WORK.
- WHEN SPECIFIC FEATURE OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES, THEIR CONSTRUCTION SHALL BE THE SAME CHARACTER AS SIMILAR CONDITIONS
- THESE NOTES TO APPLY TO ALL DRAWINGS AND GOVERN UNLESS MORE SPECIFIC REQUIREMENTS ARE INDICATED APPLICABLE TO PARTICULAR DIVISION OF THE WORK. SEE SPECIFICATIONS AND GENERAL NOTES IN THE SUBSECTIONS OF THESE DRAWINGS
- CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL CITY AND STATE REGULATIONS.
- CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF WORK.

FIRE DEPARTMENT NOTES

- NONE

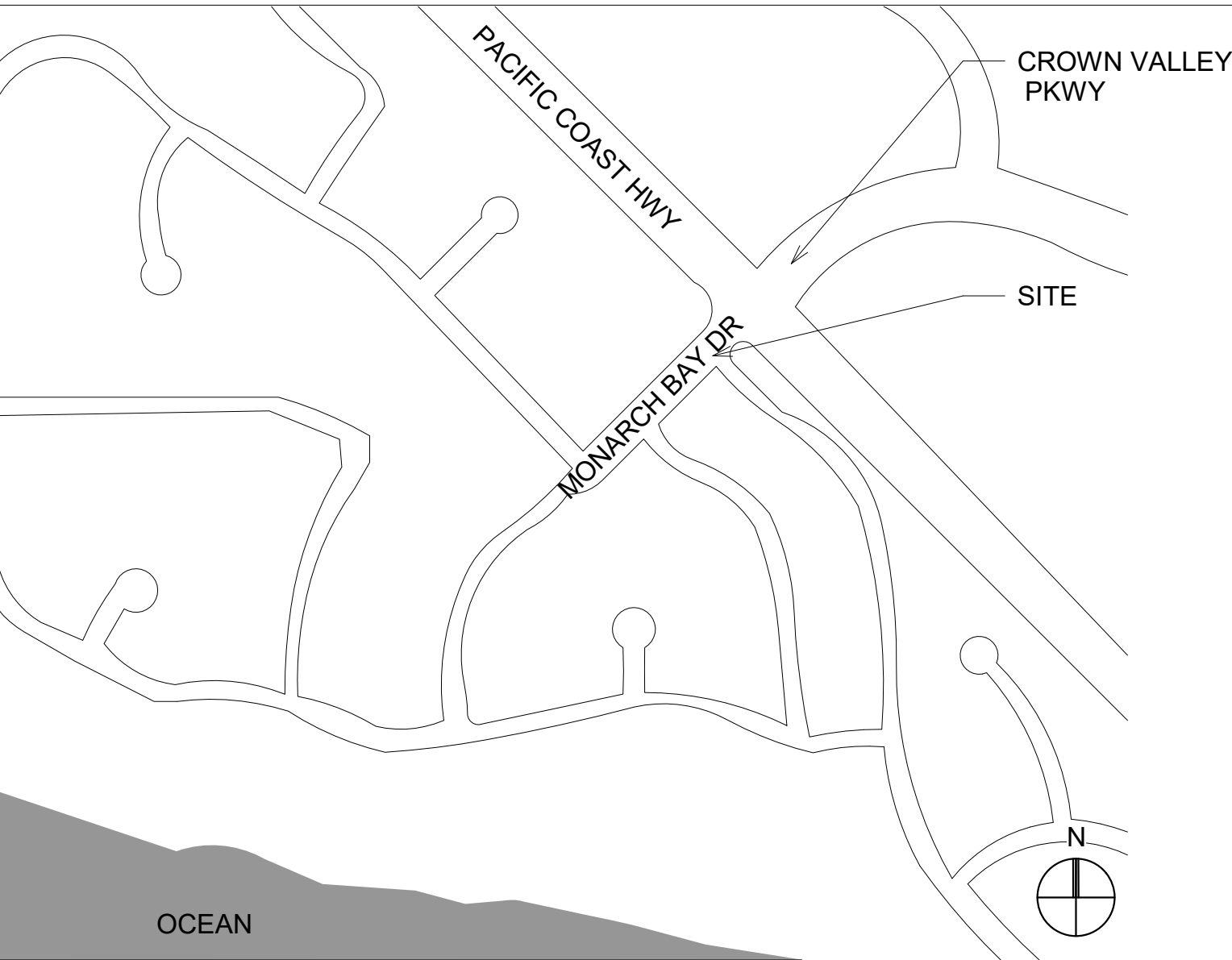
BUILDING DEPARTMENT NOTES

- NONE

PLANNING DEPARTMENT NOTES

- NONE

VICINITY MAP



SYMBOLS

Building Gridlines

Revision Cloud
(Cloud around Revision optional)

Window Symbol

Detail Callout / Section

Door Tag

Room Label

Wall Tag

Roof Tag

Floor Tag

Detail Callout

Building / Site Section

Exterior Elevation

Interior Elevation

Ceiling Height

Level

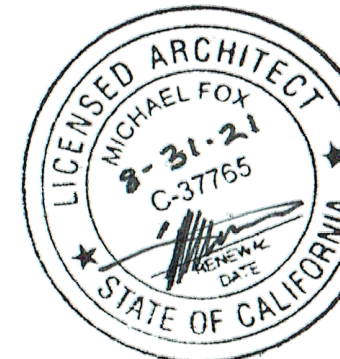
North Arrow

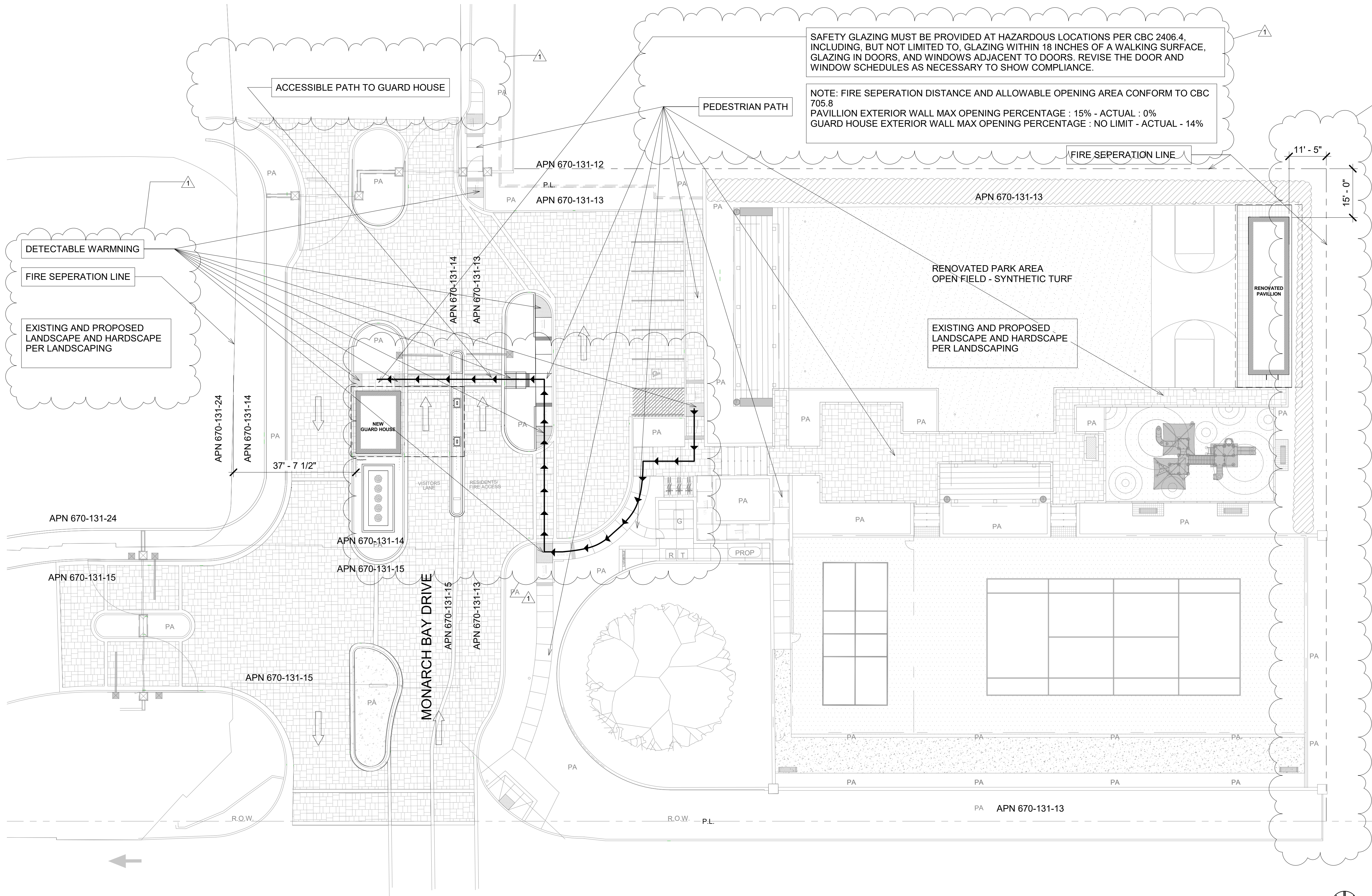
Dimension String

- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.
- ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.), UNLESS OTHERWISE NOTED.
- AS-BUILT CONDITIONS TO BE VERIFIED. DRAWINGS REPRESENT DESIGN INTENT ONLY. CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS.
- CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS APPLICABLE TO SPECIFIC TRADES OR SUBCONTRACTORS.
- CONTRACTOR SHALL COORDINATE THE WORK OF THE VARIOUS TRADES AND SUBCONTRACTORS AND SHALL BE RESPONSIBLE FOR ANY ACTS, OMISSIONS, OR ERRORS OF THE SUBCONTRACTORS AND OF PERSONS DIRECTLY OR INDIRECTLY EMPLOYED BY THEM.

GENERAL NOTES

Monarch Bay Estates	12/01/20	B Coastal Submittal 02	FL	COASTAL SUBMITTAL
MONARCH BAY DRIVE	08/19/20	A Coastal Submittal 01	FL	COASTAL SUBMITTAL
DANA POINT, CA 92629	06/21/21	1 Permit Submittal	FL	PERMIT SUBMITTAL
MONARCH BAY HOA	02/09/21	C Coastal Submittal 03	FL	COASTAL SUBMITTAL
1700	DATE	# DISCRIPTION	BY	REVISION SCHEDULE





NOTE: RE-DESIGN PARK



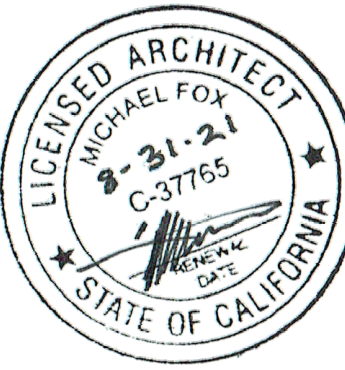
- ALL DOORS AND WINDOWS DIMENSIONED TO CENTERLINE OF CLEAR OPENING. ALL NON-DIMENSIONED WINDOWS TO BE CENTERED IN THE CLEAR OPENING. WHERE LOCATION OF WINDOWS AND DOORS ARE NOT DIMENSIONED, THEY SHALL BE PLACED 3" FROM F.O. FINISH OF ADJACENT WALL AS INDICATED ON DRAWINGS.
- ALL CASEWORK DIMENSIONS TO FACE OF FINISH.
- ALL INSULATION MATERIALS SHALL BE CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATION MATERIAL. DOORS AND WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACE SHALL BE FULL WEATHER-STRIPPED.
- ALL DECK SURFACES SHALL BE SLOPED A MINIMUM OF 1/4" PER FOOT, U.O.N.
- EXTERIOR DOORS ONLY TO OPEN OUTWARDS IF EXTERIOR DOOR LANDING IS NOT MORE THAN 0.5' LOWER THAN THE DOOR THRESHOLD.
- MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED INDICATING COMPLIANCE WITH THE APPROPRIATE INFILTRATION STANDARDS. CAULK PLUMBING AND ELECTRICAL PENETRATIONS, ALL WINDOW AND DOOR FRAMES, BETWEEN WALL SOLEPLATES AND FLOORS, AND ALL OTHER OPENINGS IN THE ENVELOPE.
- ALL EXTERIOR OPENINGS (AND OPENINGS BETWEEN HEATED AND UNHEATED AREAS) SHALL BE PROPERLY WEATHER-STRIPPED, CERTIFIED AND LABELED PROVIDE VINYL BEAD TYPE WEATHER STRIPPING AT THESE DOORS AND WINDOWS. ALL SIDES OF THE DOOR MUST BE WEATHERSTRIPPED, INCLUDING THE THRESHOLD.
- CAULK AND SEAL OPENING IN BUILDING EXTERIOR 1/8" OR GREATER TO PREVENT AIR INFILTRATION.
- WHERE REQUIRED, PROVIDE MINIMUM INSULATION OF R-13 AT EXTERIOR WALLS, AND R-30 IN ROOF AND CEILING AREAS.
- PROVIDE WOOD BLOCKING AS REQUIRED AT ALL WALL BASE INSTALLATIONS. REFER TO DETAIL SHEETS FOR WALL BASE DETAILS.
- PROVIDE ADDITIONAL PLYWOOD SHEATHING ON ALL WALLS TO RECEIVE PLYWOOD SHEAR-WALL SHEATHING TO COMPLETELY FLUSH OUT SUBSTRATE SURFACE(S). ADDITIONAL SHEATHING SHALL EXACTLY MATCH THE THICKNESS OF THE SHEAR-WALL SHEATHING REQUIRED. ADDITIONAL SHEATHING SHALL CONTINUE ALONG WALL UNTIL JUNCTION WITH A PERPENDICULAR WALL OR END OF WALL, OR AS DIRECTED BY DESIGNER.
- SLOPE FRAMING OR PROVIDE DECKING/SUBSTRATE AS REQUIRED TO PROVIDE SLOPES AS INDICATED AND POSITIVE DRAINAGE TOWARDS DRAINS.
- STUCCO OVER WOOD SHEATHING SHALL INCLUDE TWO LAYERS OF GRADE 1" BUILDING PAPER.
- ALL WALL FRAMING SHALL BE 2X4 @ 16" O.C., MINIMUM, U.O.N.
- ALL GYPSUM BOARD SHALL BE 5/8" THICK, TYPE "X", U.O.N.
- ALL GYPSUM AND/OR PLASTER SURFACES SHALL BE SMOOTH, CONTINUOUS, FREE OF IMPERFECTIONS, AND WITH NO VISIBLE JOINTS, U.O.N.
- SOUND PROOF ALL AREAS OF NEW CONSTRUCTION, INCLUDING ALL WALLS AND FLOORS AFFECTED BY RENOVATION.
- PROVIDE COMBUSTION AIR FOR WATER HEATER W/ 12" FOR BOTTOM OF THE COMPARTMENT ALL WALL FRAMING SHALL BE 2X4 @ 16" O.C., MINIMUM, U.O.N.
- PROVIDE COMBUSTION AIR FOR WATER HEATER W/ 12" FOR BOTTOM OF THE COMPARTMENT
- ABS LINES TO BE PROVIDED FROM SINKS, SHOWERS, LAUNDRY, AND TUBS TO GREYWATER TANK, NO KITCHENS AND BARS TO DRAIN TO GREYWATER.
- ALL PERIMETER WALLS SHALL BE 1-HR FIRE-RESISTANCE-RATED CONSTRUCTION.
- SAFETY GLAZING MUST BE PROVIDED AT HAZARDOUS LOCATIONS PER CBC 2406.4, INCLUDING, BUT NOT LIMITED TO, GLAZING WITHIN 18 INCHES OF A WALKING SURFACE, GLAZING IN DOORS, AND WINDOWS ADJACENT TO DOORS. REVISE THE DOOR AND WINDOW SCHEDULES AS NECESSARY TO SHOW COMPLIANCE.
- THE ACCESSIBLE ROUTE TO BE 5% MAXIMUM RUNNING SLOPE WITH 2% MAXIMUM CROSS SLOPE PER CBC 11B-402.2.
- TOPS OF THE DINING SURFACES TO BE 28" TO 34" ABOVE THE FINISH FLOOR OR GROUND, CBC 11B-902.3.
- PROVIDE TOE AND KNEE CLEARANCE UNDER THE ACCESSIBLE DINING SURFACE IN ACCORDANCE WITH CBC 11B-306 AND 11B-902.4.1. SEE CBC FIGURE 11B-306.3 FOR ILLUSTRATION.

- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.
- ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.), UNLESS OTHERWISE NOTED.
- AS-BUILT CONDITIONS TO BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.
- ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION. DRAWINGS REPRESENT DESIGN INTENT ONLY. ARCHITECT IS NOT RESPONSIBLE FOR MEANS AND METHODS.

GENERAL NOTES

Monarch Bay Estates
MONARCH BAY DRIVE
DANA POINT, CA 92629
MONARCH BAY HOA
1700

#	DISCRIPTION	BY	ISSUED TO	DATE
B	Coastal Submittal 02	FL	COASTAL SUBMITTAL	12/01/20
1	Permit Submittal 01	FL	PERMIT SUBMITTAL	06/21/21
C	Coastal Submittal 03	FL	COASTAL SUBMITTAL	02/09/21



Monarch Bay Estates

PROJECT ADDRESS
MONARCH BAY DRIVE
DANA POINT, CA 92629

CLIENT
MONARCH BAY HOA

DRAWING SET
AGENCY



392 camino de estrella 949 325 3001 phone
san clemente, 949 203 3339 fax
california 92672
foxlin.com web
info@foxlin.com email

SITE PLAN 1

Date	Job #	Size	Revision #
8/25/2021 10:27:57 AM	1700	24" x 36"	1

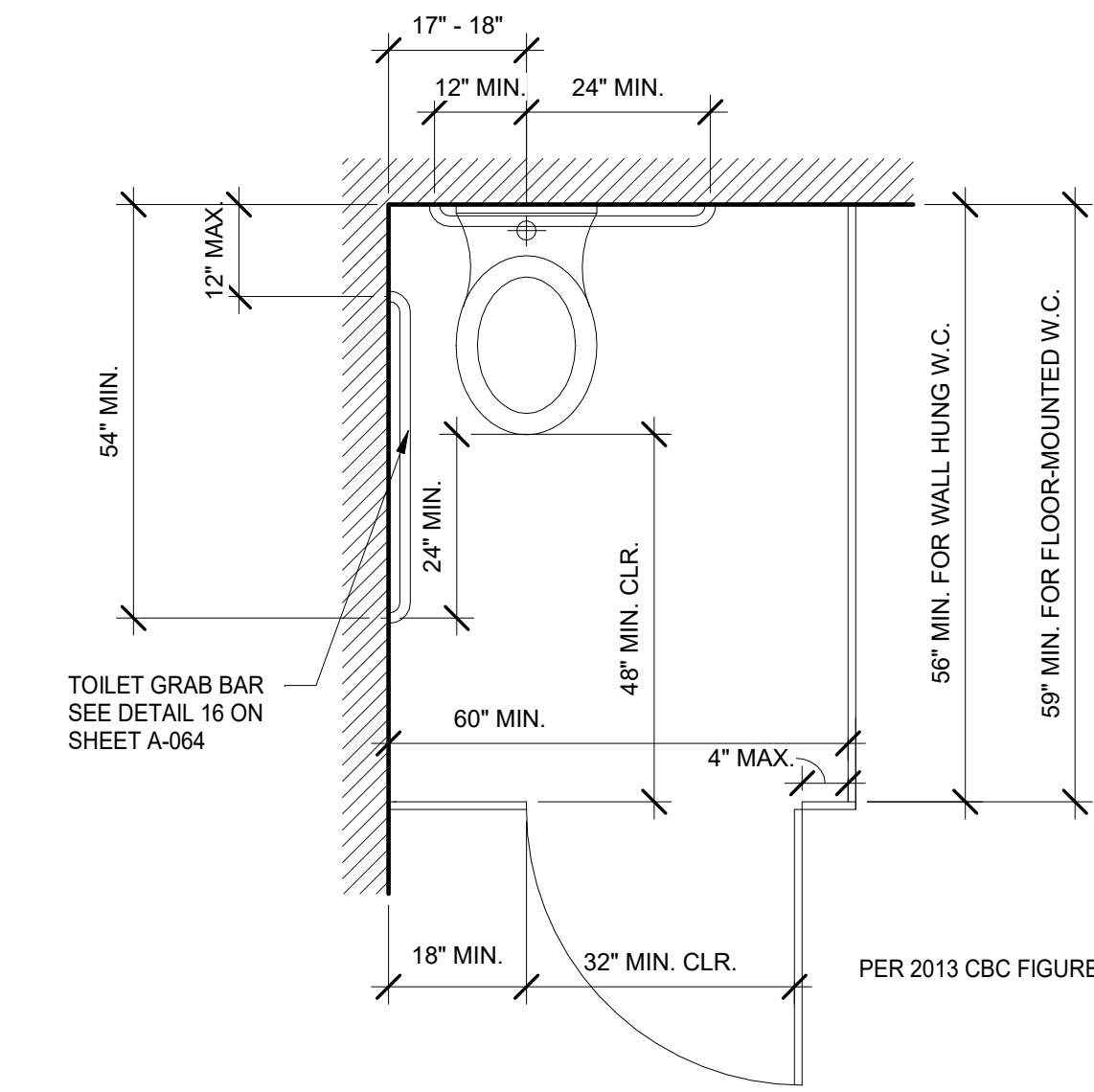
Permit Submittal 01

PLAN NOTES

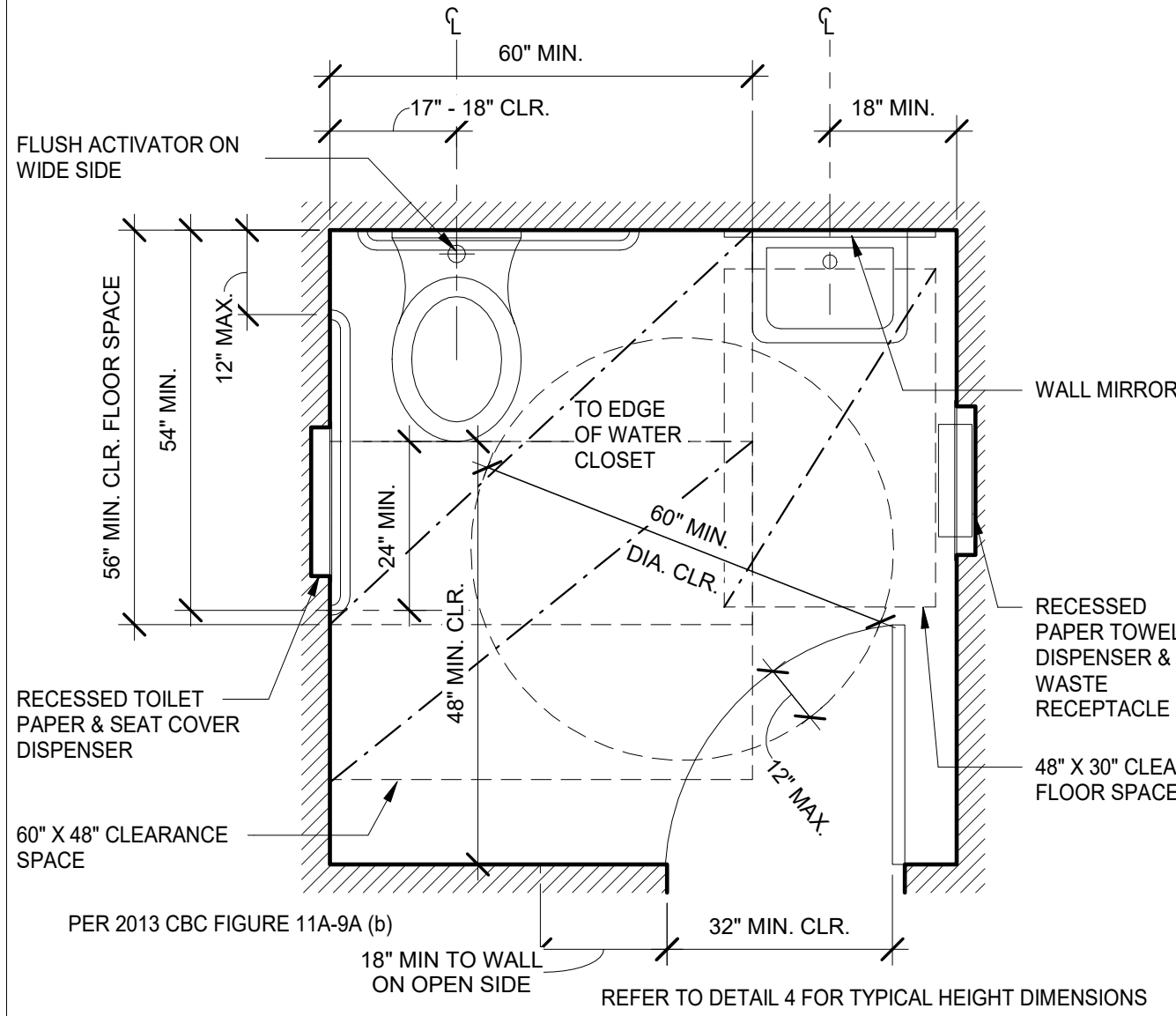
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SITE PLAN

Sheet Number

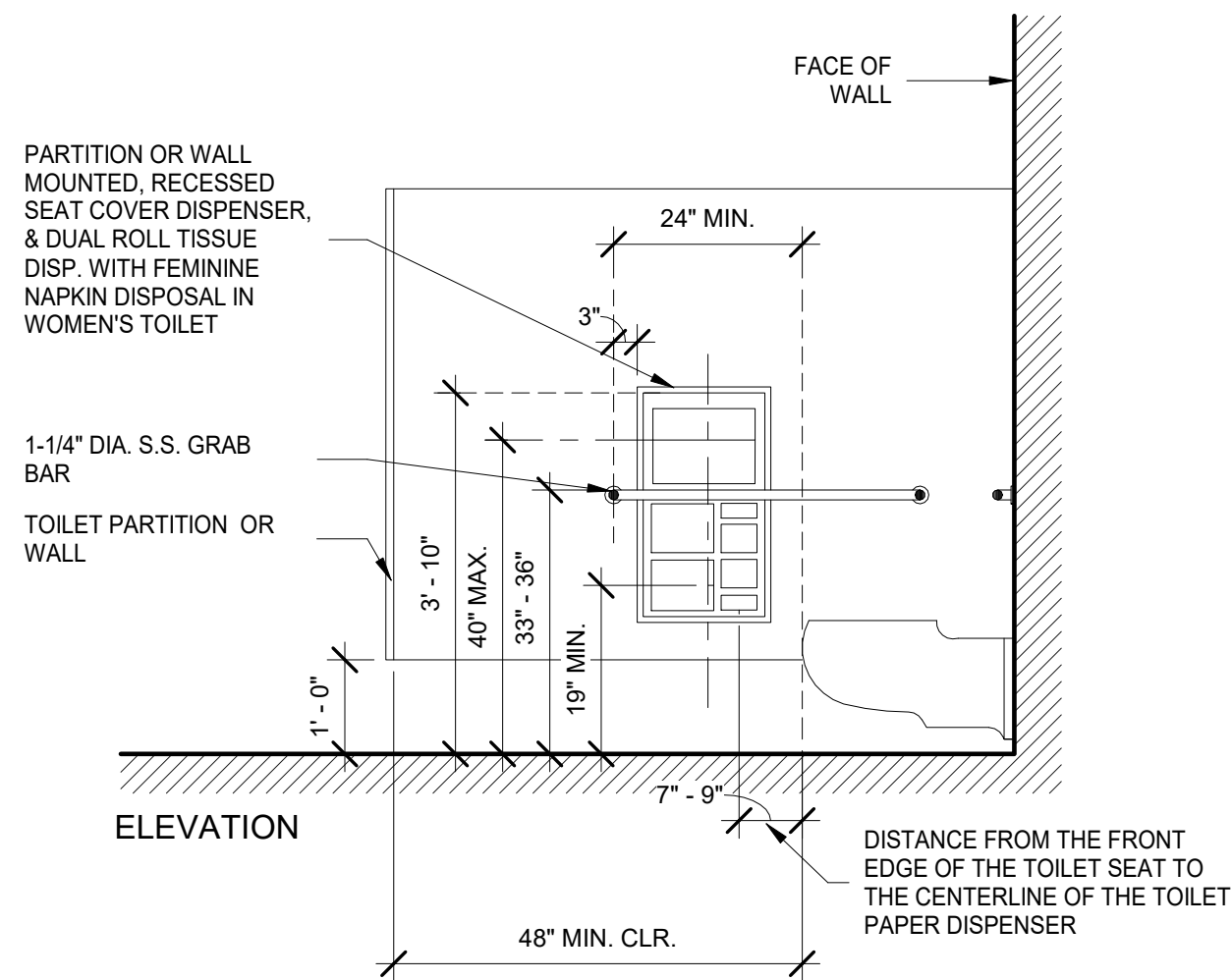
A-101



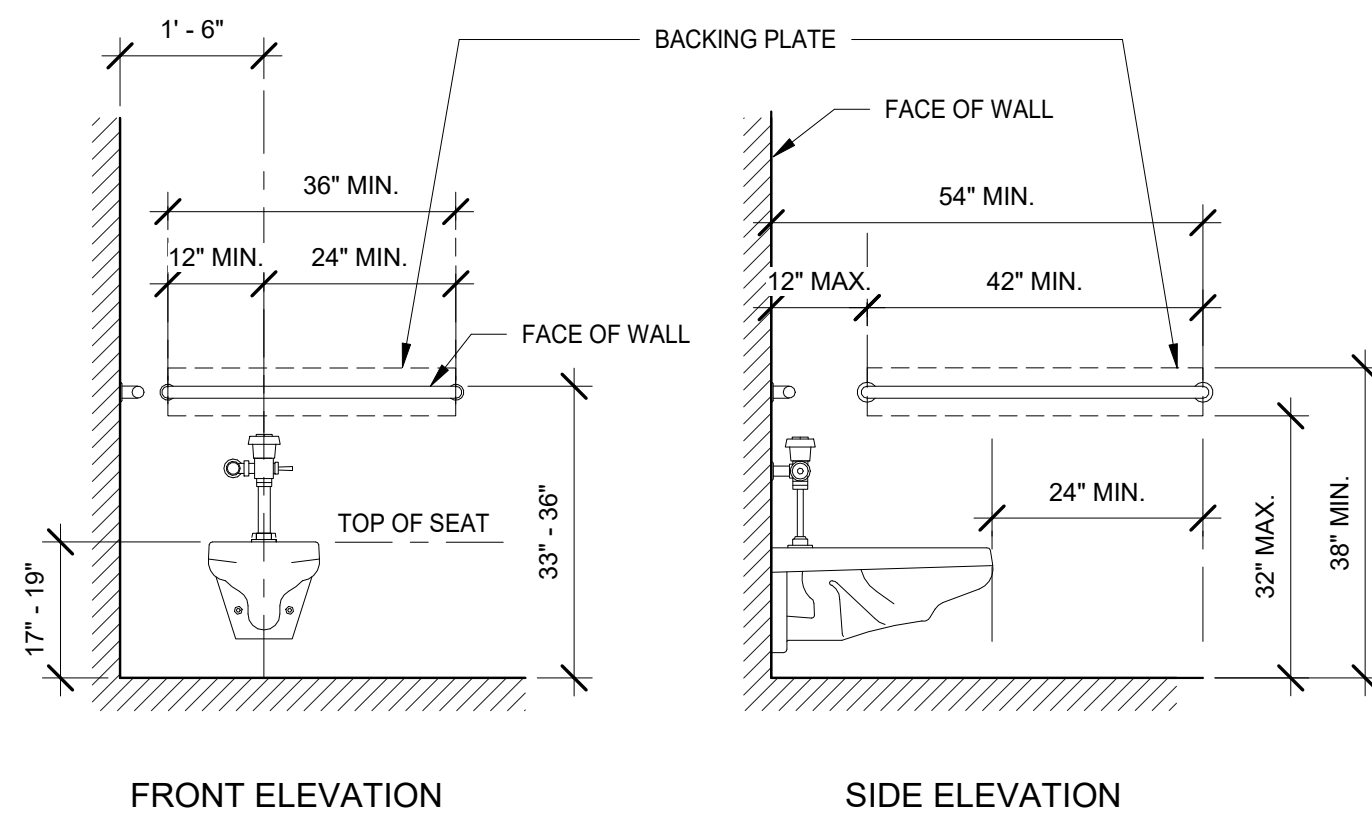
TOILET COMPARTMENT 5



SINGLE OCCUPANCY TOILET 2

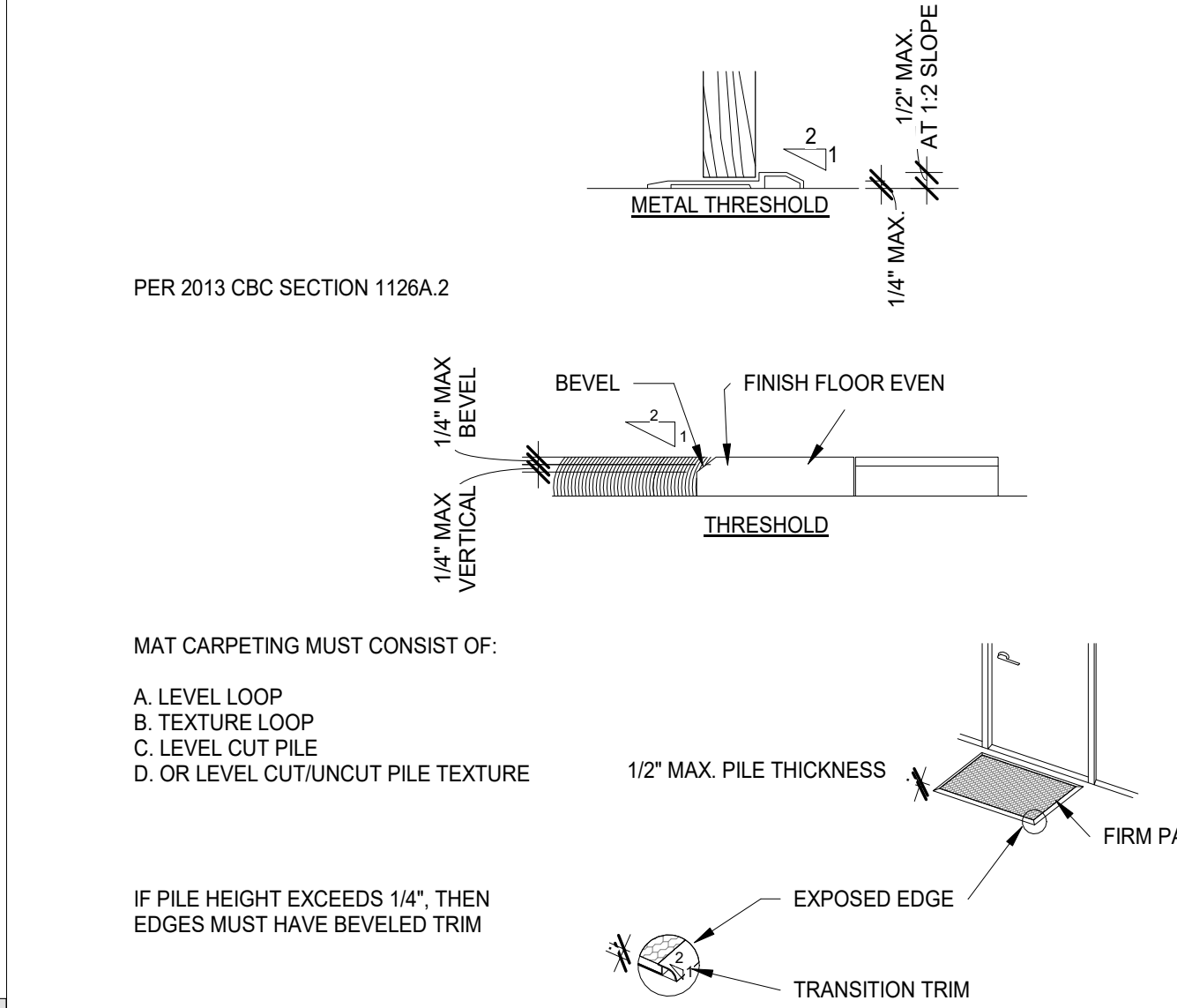


TOILET ROOM ACCESSORY MOUNTING HEIGHTS 4



GRAB BAR AT ACCESSIBLE TOILET
TOILET ROOM PLUMBING FIXTURE HEIGHTS/DIMENSIONS

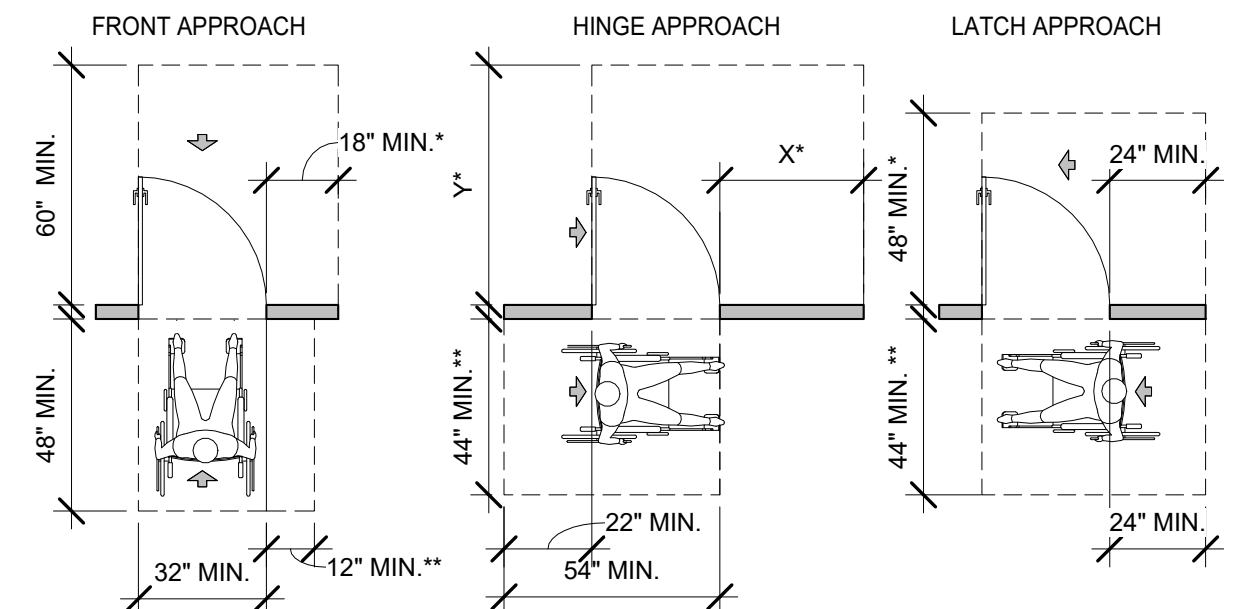
PER 2016 CBC FIGURE 11A-9B AND FIGURE 11B-604.5.1.
SEE DETAIL 16 ON SHEET A-044 FOR GRAB BAR SECTION



NOTES:

DOORMATS MUST BE SECURELY ATTACHED. SEE 2013 CBC SECTIONS 1110A.3 AND 1119A.2

TRANSITION BETWEEN DOORMAT AND SURROUNDING HARD SURFACE IS SUBJECT TO THE SAME REQUIREMENTS AS LEVEL CHANGES



*18" MIN. CLR AT INTERIOR DOORS;
24" MIN. CLR AT EXTERIOR DOORS

*18" DOOR HAS BOTH A LATCH AND A CLOSER

*X = 36" MIN. IF Y = 60";
X = 42" MIN. IF Y = 54"

*48" MIN. IF DOOR HAS A CLOSER

*54" MIN. IF DOOR HAS A CLOSER

PER CBC 1126A.3.2.1 AND 11B-404.2.4.1

PER CBC 1126A.3.2.2 AND 11B-404.2.4.1

PER CBC 1126A.3.2.3 AND 11B-404.2.4.1

NOTES:

LEVEL LANDING AT BOTH SIDES OF DOOR TYPICAL. ALLOWABLE SLOPE AT EXTERIOR 2% MAX. SLOPE ALLOWED IN EITHER DIRECTION

PER 2013 CBC SECTION 1126A DOORS

SWITCH & CONTROL HEIGHTS

ELECTRICAL RECEPTACLE, SWITCH AND CONTROL HEIGHTS SHALL COMPLY WITH CBC SECTION 1142A (THIS SECTION SHALL APPLY TO FEATURES AND FACILITIES OF COMMON USE AREAS ON ACCESSIBLE FLOORS OR SITES).

- A. ELECTRICAL RECEPTACLE OUTLETS ON BRANCH CIRCUITS OF 30 AMPERES OR LESS AND COMMUNICATION SYSTEM RECEPTACLES SHALL BE LOCATED NO MORE THAN 48" MEASURED FROM THE TOP OF THE RECEPTACLE OUTLET BOX OR RECEPTACLE HOUSING NOR LESS THAN 15" MEASURED FROM THE BOTTOM OF THE RECEPTACLE OUTLET BOX OR RECEPTACLE HOUSING TO THE LEVEL OF THE FINISHED FLOOR OR WORKING PLATFORM. IF THE REACH IS OVER AN OBSTRUCTION (FOR EXAMPLE, A KITCHEN BASE CABINET) BETWEEN 20" AND 25" IN DEPTH, THE MAXIMUM HEIGHT MEASURED AT THE BOX IS REDUCED TO 44" FOR FORWARD APPROACH, OR 46" FOR SIDE APPROACH, PROVIDED THE OBSTRUCTION IS NO MORE THAN 24" IN DEPTH. OBSTRUCTIONS SHALL NOT EXTEND MORE THAN 25" FROM THE WALL BENEATH THE RECEPTACLE. OUTLETS THAT DO NOT SATISFY THESE SPECIFICATIONS ARE ACCEPTABLE PROVIDED THAT COMPARABLE OUTLETS, THAT PERFORM THE SAME FUNCTIONS, ARE PROVIDED WITHIN THE SAME AREA AND ARE ACCESSIBLE. EXCEPTIONS INCLUDE THE FOLLOWING:
- RECEPTACLE OUTLETS INSTALLED AS PART OF PERMANENTLY INSTALLED BASEBOARD HEATERS ARE EXEMPT
 - REQUIRED RECEPTACLE OUTLETS SHALL BE PERMITTED IN FLOORS WHEN ADJACENT TO SLIDING PANELS OR WALLS
 - BASEBOARD ELECTRICAL OUTLETS USED IN RELOCATABLE PARTITIONS, WINDOW WALLS OR OTHER ELECTRICAL CONVENIENCE FLOOR OUTLETS ARE NOT SUBJECT TO THE MINIMUM HEIGHT REQUIREMENTS
 - THIS SECTION SHALL NOT APPLY TO EXISTING BUILDINGS WHEN THE ENFORCING AGENCY DETERMINES THAT COMPLIANCE WITH THESE STANDARDS WOULD CREATE AN UNREASONABLE HARDSHIP
 - NOTE: THE INTENT OF THE MEASUREMENT IS TO ENSURE THAT RECEPTACLES FALL WITHIN THE REACH RANGE OF 15" TO 48"
- B. CONTROLS OR SWITCHES INTENDED TO BE USED BY THE OCCUPANT OF THE ROOM OR AREA TO CONTROL LIGHTING AND RECEPTACLE OUTLETS, APPLIANCES, ALARMS OR COOLING, HEATING AND VENTILATING EQUIPMENT SHALL BE LOCATED NO MORE THAN 48" MEASURED FROM THE TOP OF THE OUTLET BOX NOR LESS THAN 15" MEASURED FROM THE BOTTOM OF THE OUTLET BOX TO THE LEVEL OF THE FINISHED FLOOR OR WORKING PLATFORM. IF THE REACH IS OVER A PHYSICAL BARRIER OR AN OBSTRUCTION (FOR EXAMPLE, A KITCHEN BASE CABINET) BETWEEN 20" AND 25" IN DEPTH, THE MAXIMUM HEIGHT IS REDUCED TO 44" FOR FORWARD APPROACH, OR 46" FOR SIDE APPROACH, PROVIDED THE OBSTRUCTION IS NO MORE THAN 24" IN DEPTH. PHYSICAL BARRIERS OR OBSTRUCTIONS SHALL NOT EXTEND MORE THAN 25" FROM THE WALL BENEATH THE CONTROL. CONTROLS THAT DO NOT SATISFY THESE SPECIFICATIONS ARE ACCEPTABLE PROVIDED THAT COMPARABLE CONTROLS OR OUTLETS, THAT PERFORM THE SAME FUNCTIONS, ARE PROVIDED WITHIN THE SAME AREA AND ARE ACCESSIBLE
- C. THE CENTER OF THE GRIP OF THE OPERATING HANDLE OF SWITCHES INTENDED TO BE USED BY THE OCCUPANT OF THE ROOM OR AREA TO CONTROL LIGHTING AND RECEPTACLE OUTLETS, APPLIANCES, OR COOLING, HEATING AND VENTILATING EQUIPMENT, SHALL BE NOT LESS THAN 3 FEET NOR MORE THAN 4 FEET ABOVE THE FLOOR OR WORKING PLATFORM
- D. THE CENTER OF FIRE ALARM INITIATING DEVICES (BOXES) SHALL BE LOCATED 48" ABOVE THE LEVEL OF THE FLOOR, WORKING PLATFORM, GROUND SURFACE OR SIDEWALK. IF EMERGENCY WARNING SYSTEMS ARE REQUIRED THEY SHALL ACTIVATE A MEANS OF WARNING THE HEARING IMPAIRED

DRINKING FOUNTAINS

DRINKING FOUNTAINS, SEE CBC SECTION 1139A AND 11B-602

- A. ON ANY FLOOR WHERE DRINKING FOUNTAINS ARE PROVIDED, AT LEAST ONE FOUNTAIN SHALL BE ACCESSIBLE. SPECIFY ACCESSIBLE DRINKING FOUNTAINS AND SHOW THEM INSTALLED IN ALCOVES OR IN A LOCATION, WHICH DOES NOT ENROACH INTO A PEDESTRIAN WAY. PROVIDE AT LEAST ONE SET OF DRINKING FOUNTAINS IN EACH "DRINKING FOUNTAIN AREA" WHERE ONE FOUNTAIN IS ACCESSIBLE TO INDIVIDUALS IN WHEELCHAIRS PLUS ONE WHICH IS ACCESSIBLE TO INDIVIDUALS WHO HAVE DIFFICULT BENDING OR STOOPING
- C. PROVIDE A MIN. 30" X 48" CLR. FLOOR SPACE FOR FORWARD APPROACH. THE DRINKING FOUNTAIN SHALL BE A MINIMUM OF 18-INCHES IN DEPTH AND THERE SHALL BE A CLEAR AND UNOBSTRUCTED KNEE SPACE UNDER THE DRINKING FOUNTAIN NOT LESS THAN 27-INCHES IN HEIGHT AND 8-INCHES IN DEPTH. THE DEPTH MEASUREMENT BEING TAKEN FROM THE FRONT EDGE OF THE FOUNTAIN. ADDITIONALLY THERE SHALL BE TOE CLEARANCE OF 8-INCHES IN HEIGHT ABOVE THE FLOOR, AND 17-INCHES IN DEPTH FROM THE FRONT EDGE OF THE FOUNTAIN. A SIDE APPROACH DRINKING FOUNTAIN IS NOT ACCEPTABLE
- D. THE SPOUT SHALL BE LOCATED WITHIN 6" OF THE FRONT EDGE OF THE FOUNTAIN AND WITHIN 36" OF THE FLOOR. A FLOW OF WATER AT LEAST 4 INCHES HIGH SHALL BE AVAILABLE TO THE INSERTION OF A CUP OR GLASS UNDER THE FLOW OF WATER. THE SPOUT STREAM SHALL BE PARALLEL TO THE FRONT EDGE OF THE FOUNTAIN
- E. CONTROLS SHALL BE LOCATED WITHIN 6" OF THE FRONT EDGE OF THE FOUNTAIN AND REQUIRE NO MORE THAN 5 LBS. OF FORCE TO OPERATE
- F. WATER FOUNTAINS SHALL BE LOCATED IN AN ALCOVE MIN. 18" DEEP AND MIN. 32" WIDE. NO PORTION OF THE FOUNTAIN SHALL PROTRUDE MORE THAN 4" FROM THE ALCOVE INTO A PEDESTRIAN WAY

PUBLIC TELEPHONES

PUBLIC TELEPHONES, SEE CBC SECTION 1140A

- A. ON SITE OR FLOORS WHERE PUBLIC TELEPHONES ARE PROVIDED, AT LEAST ONE TELEPHONE SHALL BE ACCESSIBLE. ON SITE OR ANY FLOOR WHERE TWO OR MORE BANKS OF MULTIPLE TELEPHONES ARE PROVIDED, AT LEAST ONE TELEPHONE IN EACH BANK SHALL BE ACCESSIBLE
- B. A CLEAR FLOOR OR GROUND SPACE OF 30" BY 48" THAT ALLOWS EITHER A FORWARD OR PARALLEL APPROACH BY A PERSON USING A WHEELCHAIR SHALL BE PROVIDED AT TELEPHONES. BASE ENCLOSURES OR FIXED SEATS SHALL NOT IMPED APPROACHES TO TELEPHONES BY PEOPLE WHO USE WHEELCHAIRS
- C. ONE FULL UNOBSTRUCTED SIDE OF THE CLEAR FLOOR OR GROUND SPACE FOR A WHEELCHAIR SHALL ADJOIN ANOTHER WHEELCHAIR CLEAR FLOOR SPACE
- D. THE HIGHEST OPERABLE PART OF THE TELEPHONE SHALL BE WITHIN THE REACH RANGES SHOWN IN THE FIGURES BELOW. TELEPHONES MOUNTED DIAGONALLY IN A CORNER THAT REQUIRE WHEELCHAIR USERS TO REACH DIAGONALLY SHALL HAVE THE HIGHEST OPERABLE PART NO HIGHER THAN 54" ABOVE THE FLOOR
- E. IF TELEPHONE ENCLOSURES ARE PROVIDED, THAT MAY OVERHANG THE CLEAR FLOOR OR GROUND SPACE (SEE NOTE B ABOVE) WITH THE FOLLOWING LIMITS:
- SIDE REACH POSSIBLE. THE OVERHANG SHALL BE NO GREATER THAN 19". THE HEIGHT OF THE LOWEST OVERHANGING PART SHALL BE EQUAL TO OR GREATER THAN 27" ABOVE THE FLOOR
 - FULL-HEIGHT ENCLOSURE. ENTRANCES TO FULL-HEIGHT ENCLOSURES SHALL BE A MINIMUM 30" IN WIDTH
 - FORWARD REACH REQUIRED. IF THE OVERHANG IS GREATER THAN 12", THEN THE CLEAR WIDTH OF THE ENCLOSURE SHALL BE 30"; IF THE CLEAR WIDTH OF THE ENCLOSURE IS LESS THAN 30", THEN THE HEIGHT OF THE LOWEST OVERHANGING PART SHALL BE EQUAL TO OR GREATER THAN 27" ABOVE THE FLOOR
- F. EQUIPMENT FOR THE HEARING IMPAIRED. TELEPHONES SHALL BE EQUIPPED WITH A RECEIVER THAT GENERATES A MAGNETIC FIELD IN THE RECEIVER CAP
- G. IF A TOTAL OF FOUR OR MORE PUBLIC PAY TELEPHONES ARE PROVIDED AT THE INTERIOR AND EXTERIOR OF A SITE, AND IF AT LEAST ONE OF THE TOTAL NUMBER PROVIDED IS LOCATED IN AN INTERIOR LOCATION, AT LEAST ONE INTERIOR PUBLIC TEXT TELEPHONE SHALL BE PROVIDED. FOR ADDITIONAL REQUIREMENTS SEE CBC SECTION 1140A.7.1
- H. TELEPHONES SHALL HAVE PUSH-BUTTON CONTROLS WHERE SUCH SERVICE IS AVAILABLE
- I. THE CORD FROM THE TELEPHONE TO THE HANDSET SHALL BE AT LEAST 29" LONG
- J. IF TELEPHONE BOOKS ARE PROVIDED, THEY SHALL BE LOCATED IN A POSITION THAT COMPLIES WITH THE REACH RANGES IN CBC FIGURES 11A-11 AND 11A-1J

BUILT-IN ELEMENTS

DINING & WORK SURFACES AND BENCHES

- A. A CLEAR FLOOR SPACE COMPLYING WITH SECT. 11B-305 POSITIONED FOR A FORWARD APPROACH SHALL BE PROVIDED. KNEE AND TOE CLEARANCE COMPLY WITH SECT. 11B-306 SHALL BE PROVIDED
- B. THE TOPS OF DINING SURFACES AND WORK SURFACES SHALL BE 28 INCHES MINIMUM AND 34 INCHES MAXIMUM ABOVE THE FINISHED FLOOR OR GROUND (SECT 11B-902.3 HEIGHT).
- C. BENCHES SHALL HAVE SEATS THAT ARE 48 INCHES LONG MINIMUM AND 20 INCHES DEEP MINIMUM AND 24 INCHES DEEP MAXIMUM (SECT 11B-903.3 SIZE).
- D. THE BENCH SHALL PROVIDE FOR BACK SUPPORT OR SHALL BE AFFIXED TO A WALL ALONG ITS LONG DIMENSION. BACK SUPPORT SHALL BE 48 INCHES LONG MINIMUM AND SHALL EXTEND FROM A POINT 2 INCHES MAXIMUM ABOVE THE SEAT SURFACE TO A POINT 18 INCHES MINIMUM ABOVE THE SEAT SURFACE. BACK SUPPORT SHALL BE 2 1/2 INCHES MAXIMUM FROM THE REAR EDGE OF THE SEAT MEASURED HORIZONTALLY (SECT 11B-903.4 BACK SUPPORT).
- E. THE TOP OF THE BENCH SEAT SURFACE SHALL BE 17 INCHES MINIMUM AND 19 INCHES MAXIMUM ABOVE THE FINISHED FLOOR (SECT 11B-903.5 HEIGHT).
- F. WHERE INSTALLED IN WET LOCATIONS, THE LOCATION OF THE SEAT SHALL BE SLIP RESISTANT AND SHALL NOT ACCUMULATE WATER (SECT 11B-903.7 WET LOCATIONS).

GENERAL NOTES

THIS SHEET GENERALLY ILLUSTRATES CODE MINIMUM STANDARDS FOR BUILDING ACCESSIBILITY WITHIN COMMON AREAS. SEE PERTINENT SHEETS, DRAWINGS, AND SPECIFICATIONS FOR APPLICATION OF THESE STANDARDS TO THE PROJECT. THIS SHEET DOES NOT APPLY TO PUBLIC ACCOMMODATIONS SUCH AS MOTELS AND HOTELS, PUBLIC USE AREAS, AND HOUSINGS WHICH PUBLICLY FUNDED

THE INFORMATION CONTAINED WITHIN THESE SHEETS ARE EXCERPTS FROM THE 2019 CALIFORNIA BUILDING CODE (CBC) AND APRIL 1998 FAIR HOUSING ACT (FHA) DESIGN GUIDELINE, AND ARE INTENDED TO PROVIDE THE CONTRACTOR THE GENERAL REQUIREMENTS OF ACCESSIBILITY FOR THIS PROJECT. THE GENERAL CONTRACTOR SHALL BE KNOWLEDGEABLE OF AND SHALL BUILD TO ALL APPLICABLE ACCESSIBILITY CODE REQUIREMENTS. IF FURTHER INFORMATION OR CLARIFICATION IS REQUIRED, CONSULT THE ARCHITECT OR REFERENCE THE 2019 CBC AND FHA DESIGN GUIDELINE PRIOR TO FABRICATION OR INSTALLATION OF WORK

ENTRANCES AND DOORWAYS

ENTRANCES AND DOORWAYS

- A. PRIMARY ENTRANCES TO BUILDINGS AND FACILITIES SHALL BE MADE ACCESSIBLE TO THE DISABLED
- B. RECESSED DOOR MATS SHALL BE ANCHORED TO PREVENT INTERFERENCE WITH WHEELCHAIRS
- C. PRIMARY ENTRANCES TO DWELLING UNITS SHALL BE PROVIDED WITH A DOOR CHIME MOUNTED AT 48" MAXIMUM ABOVE THE FINISH FLOOR AND CONNECTED TO PERMANENT WIRING
- D. ACCESSIBLE ENTRANCES SHALL BE IDENTIFIED WITH AT LEAST ONE SIGN (INTERNATIONAL SYMBOL OF ACCESSIBILITY) AND WITH ADDITIONAL DIRECTIONAL SIGNS AS REQUIRED VISIBLE FROM APPROACHING PEDESTRIAN WAYS
- E. THE FLOOR OR LANDING ON EACH SIDE OF AN ENTRANCE OR PASSAGE DOOR SHALL BE LEVEL AND CLEAR, THE LEVEL AND CLEAR AREA SHALL BE A MINIMUM 60" SQUARE IN THE DIRECTION OF THE DOOR SWING AND A MINIMUM 44" SQUARE OPPOSITE THE DIRECTION OF DOOR SWING. THE SQUARES SHALL BE MEASURED AT RIGHT ANGLES TO THE PLANE OF THE DOOR IN ITS CLOSED POSITION. SEE NOTE 1 BELOW FOR STRIKE SIDE REQUIREMENTS
- F. COVERED DWELLING UNITS OF MULTIFAMILY BUILDINGS, THE LEVEL AREA MUST BE 36" LONG MINIMUM IN BOTH THE DIRECTION AND OPPOSITE THE DIRECTION OF THE DOOR SWING
- G. THE WIDTH OF THE LEVEL AND CLEAR AREA ON THE SIDE TO WHICH THE DOOR SWINGS SHALL EXTEND 24" PAST THE STRIKE EDGE OF THE DOOR FOR EXTERIOR DOORS AND 18" PAST THE STRIKE EDGE FOR INTERIOR DOORS AND THE PRIMARY ENTRANCE TO THE DWELLING UNIT
- H. THE FLOOR OR LANDING SHALL BE NOT MORE THAN 1/2" LOWER THAN THE THRESHOLD OF THE DOORWAY. CHANGE IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED NO GREATER THAN 1:2
- I. THE FLOOR LANDING IMMEDIATELY OUTSIDE THE ENTRY MAY BE SLOPED UP TO 1/8" PER FOOT IN THE DIRECTION AWAY FROM THE PRIMARY ENTRANCE FOR DRAINAGE
- J. EXTERIOR DECK, PATIO, OR BALCONY SURFACES SHALL BE NO MORE THAN 1/2" BELOW THE FLOOR LEVEL OF THE INTERIOR OF THE DWELLING UNIT, UNLESS CONSTRUCTED OF IMPERVIOUS MATERIALS. IN SUCH CASE THE SURFACE SHALL BE NO MORE THAN 4 INCHES BELOW THE FLOOR LEVEL OF THE INTERIOR OF THE DWELLING UNIT, OR LOWER IF REQUIRED BY LOCAL BUILDING CODES
- K. THE SPACE BETWEEN TWO CONSECUTIVE DOOR OPENINGS IN A VESTIBULE, SERVING OTHER THAN A REQUIRED EXIT STAIRWAY, MUST HAVE AT LEAST 48" OF CLEAR SPACE FROM ANY DOOR OPENING INTO THE VESTIBULE WHEN THE DOOR IS OPEN 90 DEGREES FROM ITS CLOSED POSITION. DOORS IN SERIES MUST SWING IN THE SAME DIRECTION OR AWAY FROM THE SPACE BETWEEN THE DOORS
- L. DOOR MUST PROVIDE MIN. 32" CLR. OPENING WIDTH MEASURED WITH THE DOOR POSITIONED 90- DEGREES FROM THE CLOSED POSITION. DOOR MUST BE MIN. 36" IN WIDTH, WHERE A PAIR OF DOORS, MANUALLY OR AUTOMATICALLY OPERATED, IS UTILIZED, AT LEAST ONE OF THE DOORS SHALL PROVIDE A CLEAR, UNOBSTRUCTED OPENING 32" WIDE W/ THE LEAF POSITIONED 90 DEGREES FROM ITS CLOSED POSITION. DOORS SHALL NOT BE LESS THAN 6'-8" IN HEIGHT. SEE CBC SECTION 1126A.1
- M. THE BOTTOM 10" OF ALL DOORS EXCEPT AUTOMATIC & SLIDING SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE TO ALLOW THE DOOR TO OPEN BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION, WHERE NARROW FRAME DOORS ARE USED A 10" HIGH SMOOTH PANEL SHALL BE INSTALLED ON THE PUSH SIDE OF THE DOOR, WHICH WILL ALLOW THE DOOR TO BE OPENED BY A WHEELCHAIR FOOTREST WITHOUT CREATING A TRAP OR HAZARDOUS CONDITION. SEE CBC 1126A.7
- N. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 8-1/2 LBS FOR EXTERIOR DOORS AND 5 LBS FOR INTERIOR DOORS. SUCH PULL OR PUSH EFFORT SHALL BE APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED TO THE MAXIMUM ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 POUNDS
- O. THE SWEEP PERIOD OF A CLOSER SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 70 DEGREES, THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3 INCHES FROM THE LATCH, MEASURED TO THE LANDING EDGE OF THE DOOR. SEE CBC SECTION 1126A.4.1
- P. OPERABLE HARDWARE SHALL BE 30" MIN. AND 44" MAX. ABOVE THE FLOOR. HARDWARE SHALL BE OF A TYPE TO PERMIT OPERATION WITHOUT REQUIRING THE ABILITY TO GRASP THE HARDWARE. SEE CBC SECTION 1126A.6
- Q. LEVER-TYPE HARDWARE SHALL BE CURVED TO RETURN WITHIN 1/2" OF THE DOOR WHEN THE OCCUPANT LOAD IN GROUP R OR U EXCEEDS 10. SEE CBC SECTION 1126A.6.1

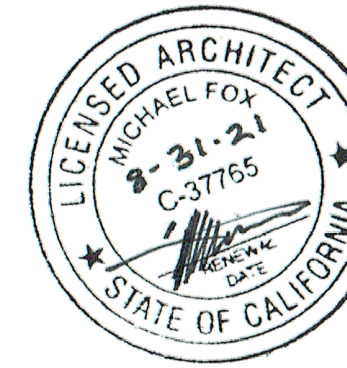
SANITARY FACILITIES

SANITARY FACILITIES (PUBLIC AND COMMON SPACES WHERE PROVIDED). SEE CBC SECTION 11B-404 AND 11B-604 AND 11B-608

- A. WATER CLOSET COMPARTMENTS SHALL BE EQUIPPED WITH A DOOR THAT HAS AN AUTOMATIC CLOSING DEVICE, AND SHALL HAVE A CLEAR UNOBSTRUCTED OPENING WIDTH OF 32-INCHES WHEN LOCATED AT THE END AND 34-INCHES WHEN LOCATED AT THE SIDE WITH THE DOOR POSITION AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION
- B. TOILET FLUSH CONTROLS SHALL BE OPERABLE WITH ONE HAND, AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. FLUSH CONTROLS SHALL BE MOUNTED ON THE WIDE SIDE OF THE TOILET AREAS, NO MORE THAN 44-INCHES ABOVE THE FLOOR. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS PER FOOT
- C. WHERE URINALS ARE PROVIDED AT LEAST ONE WITH A RIM PROJECTING A MINIMUM OF 14-INCHES FROM THE WALL AND AT A MAXIMUM OF 17-INCHES ABOVE THE FLOOR SHALL BE PROVIDED
- D. URINAL FLUSH CONTROLS SHALL BE OPERABLE WITH ONE HAND, AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST AND SHALL BE MOUNTED NO MORE THAN 44" ABOVE THE FLOOR. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS PER FOOT
- E. HOT WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED
- F. FAUCET CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS PER FOOT. LEVER OPERATED, PUSH
- G. TYPE AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. SELF-CLOSING VALVES ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS
- H. MIRRORS SHALL BE MOUNTED WITH THE BOTTOM EDGE OF THE REFLECTING SURFACE NOT MORE THAN 40-INCHES ABOVE THE FLOOR
- I. LOCATE TOWEL, SANITARY NAPKIN, AND WASTE RECEPTACLES WITH ALL OPERABLE PARTS NOT MORE THAN 40-INCHES FROM THE FLOOR
- J. LOCATE TOILET TISSUE DISPENSERS ON THE WALL OR PARTITION WITHIN 12-INCHES OF THE FRONT EDGE OF THE TOILET SEAT
- K. LINER FOOT LOAD
- L. GRAB BARS (SEE DETAIL 16 ON SHEET A-044):
- THE DIAMETER OR WIDTH OF THE GRIPPING SURFACE OF A GRAB BAR SHALL BE 1-1/4" TO 1-1/2" OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE
 - IF THE GRAB BARS ARE MOUNTED ADJACENT TO A WALL, THE SPACE BETWEEN THE WALL AND THE GRAB BARS SHALL BE 1-1/2"
 - A GRAB BAR AND ANY WALL OR OTHER SURFACE ADJACENT SHALL BE FREE OF ANY SHARP OR ABRASIVE ELEMENTS
 - GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS
 - EDGES SHALL HAVE A MINIMUM RADIUS OF 1/8"

ACCESSIBLE TOILET COMPARTMENTS. SEE CBC SECTION 11B-604

- A. SEE TOILET ROOM FLOOR PLAN FOR H.C. TOILET STALL LOCATION
- B. VERIFY TOILET ACCESSORIES & TYPE OF PARTITION IN SPECIFICATIONS
- C. PROVIDE BACKING IN WALL & TOILET PARTITION FOR GRAB BAR ANCHORAGE
- D. COMPARTMENT DOOR TO PROVIDE A MINIMUM 9" CLEARANCE FOR FOOTRESTS UNDERNEATH DOOR, OR A MINIMUM OF 18" SIDE-STRIKE CLEARANCE IS PROVIDED
- E. INSIDE AND OUTSIDE OF THE COMPARTMENT DOOR IS EQUIPPED WITH A LOOP OR U-SHAPED HANDLE IMMEDIATELY BELOW THE LATCH. THE LATCH IS A FLIP-OVER STYLE, SLIDING, OR OTHER HARDWARE NOT REQUIRING TIGHT GRASPING OR TWISTING
- F. OPENING HARDWARE IS CENTERED BETWEEN 30" AND 44" ABOVE FINISH FLOOR
- G. TOILET PAPER DISPENSER ALLOWS CONTINUOUS PAPER FLOW AND DOES NOT CONTROL DELIVERY. SEE CBC SECTION 11B-604.7
- H. THE ACCESSIBLE COMPARTMENT DOOR SHALL BE EQUIPPED WITH AN AUTOMATIC CLOSING DEVICE (3 SECONDS MIN. SWEEP TIME FROM OPEN POSITION OF 70 DEGREES TO A POINT 3" FROM THE LATCH)
- I. FLUSH CONTROL SHALL BE ON WIDE SIDE OF TOILET COMPARTMENT AT ALL ACCESSIBLE STALLS - TYP
- J. WHERE ONLY ONE TYPE OF TOILET FIXTURE OR ACCESSORY IS USED, IT SHALL BE POSITIONED FOR ACCESSIBILITY
- K. SEE ACCESSIBILITY NOTES FOR ADDITIONAL REQUIREMENTS



11B-705.1.1.2 Dome Spacing

Truncated domes in a detectable warning surface shall have a center-to-center spacing of 2.3 inches (58 mm) minimum and 2.4 inches (61 mm) maximum, and a base-to-base spacing of 0.65 inch (16.5 mm) minimum, measured between the most adjacent domes on a square grid.

Exception: Where installed in a radial pattern, truncated domes shall have a center-to-center spacing of 1.6 inches (41 mm) minimum to 2.4 inches (61 mm) maximum.

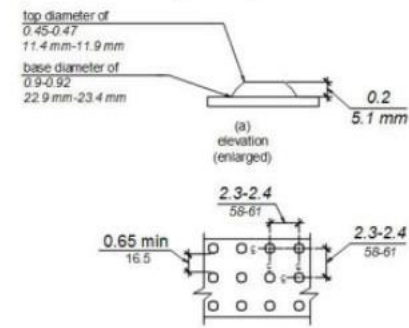


FIGURE 11B-705.1
SIZE AND SPACING OF TRUNCATED DOMES

11B-705.1.1.3 Color and Contrast

Detectable warning surfaces at transit boarding platform edges, bus stops, hazardous vehicular areas, reflecting pools, and track crossings shall comply with Section 11B-705.1.1.3.1. Detectable warnings at other locations shall comply with either Section 11B-705.1.1.3.1 or Section 11B-705.1.1.3.2. The material used to provide visual contrast shall be an integral part of the surface.

DETECTABLE WARNING SURFACE 10

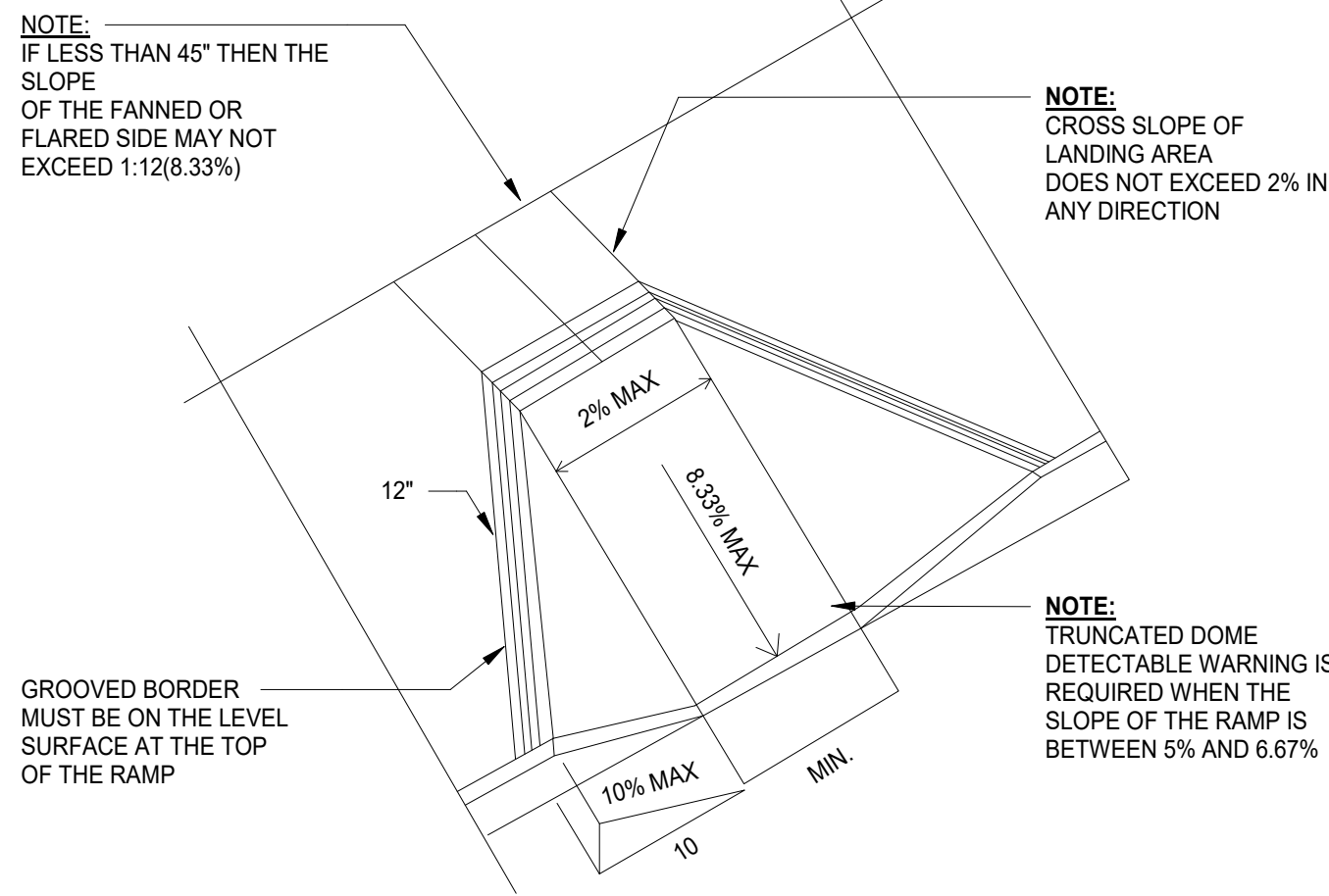
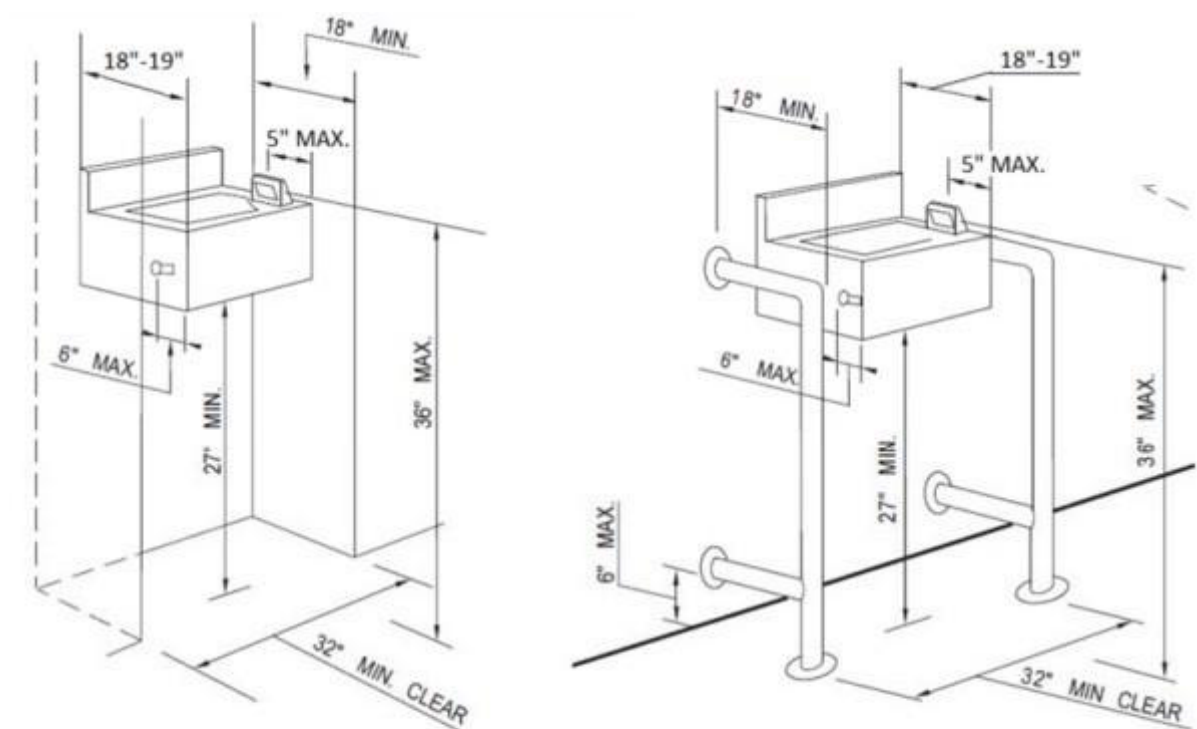


FIG. 27-8 CURB CUT RAMP

NEW DETECTABLE WARNING
AT EXISTING CURB CUT

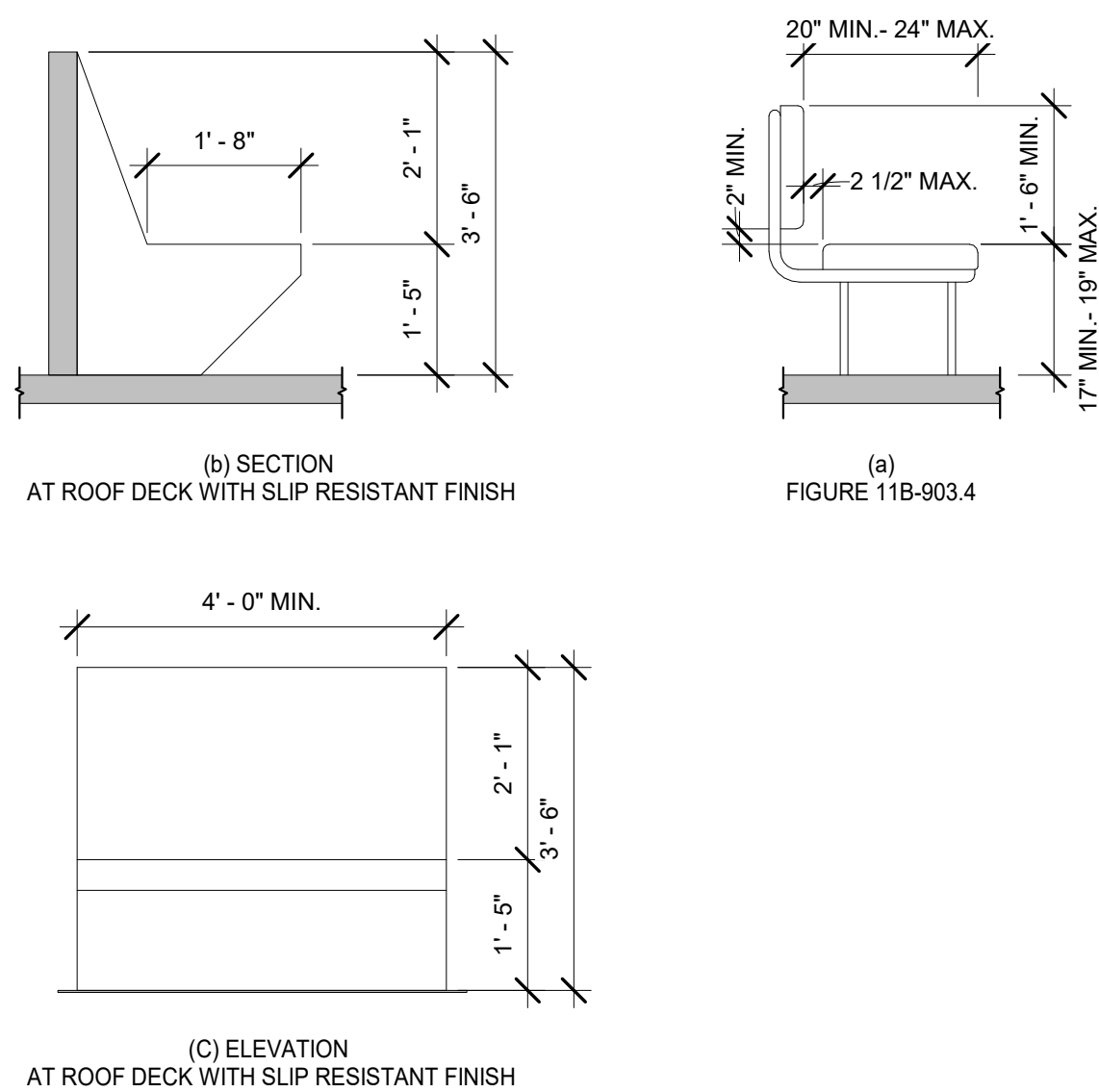
DETECTABLE CURB WARNING 11



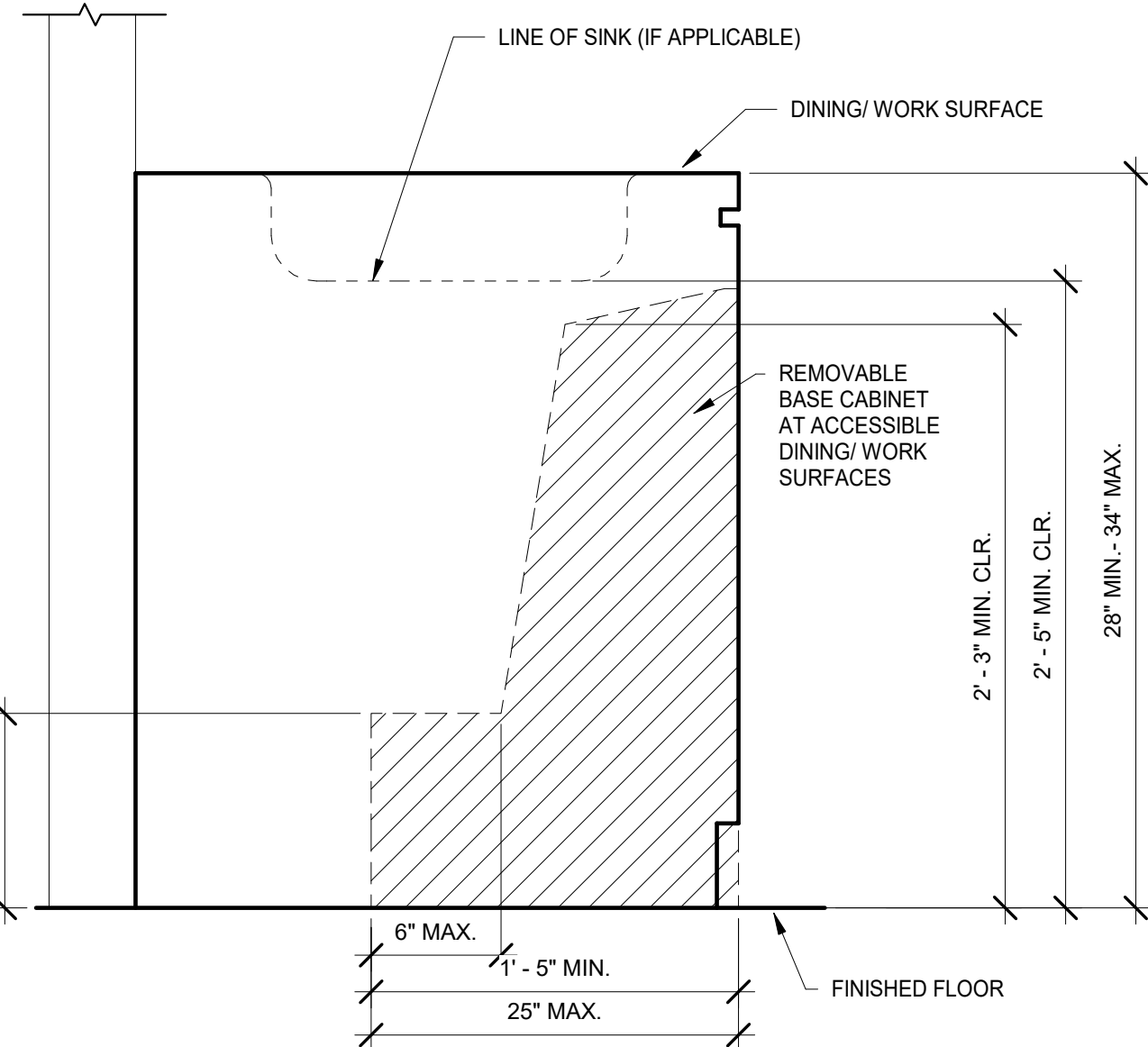
(a) ALCOVE INSTALLATION

FIGURE 11A-11A
DRINKING FOUNTAINS

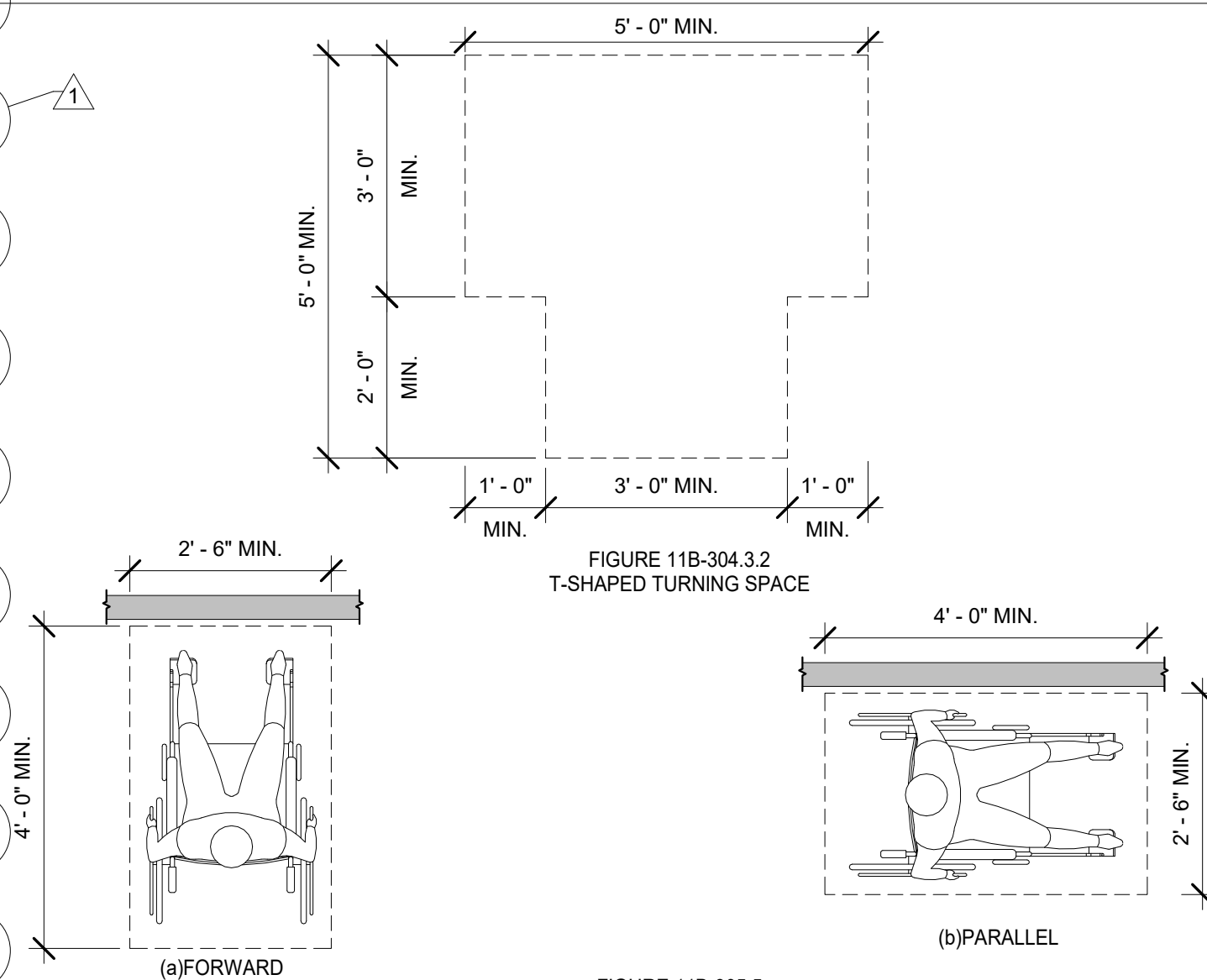
ACCESSIBLE DRINKING FOUNTAINS 12



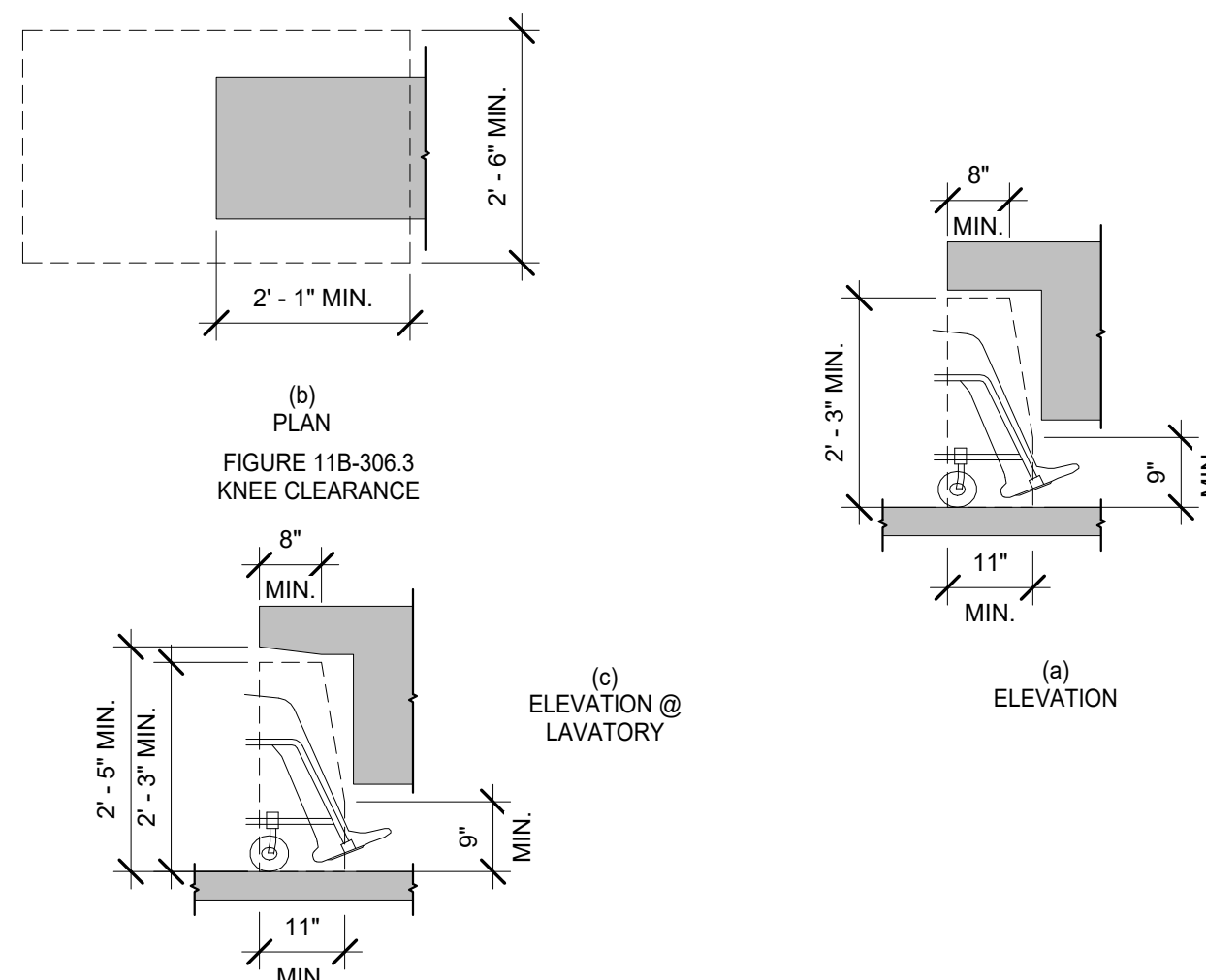
BUILT-IN BENCHES 9



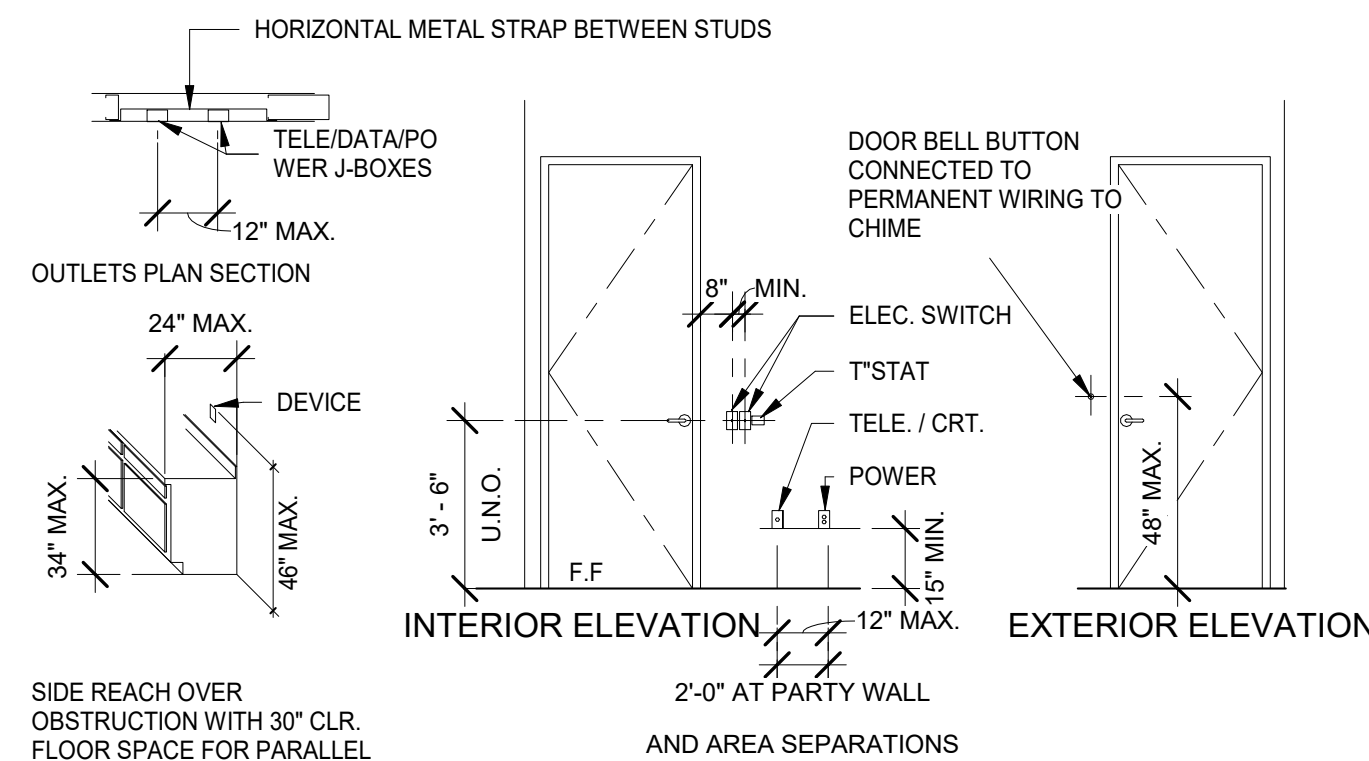
BUILT-IN DINING & WORK SURFACES 8



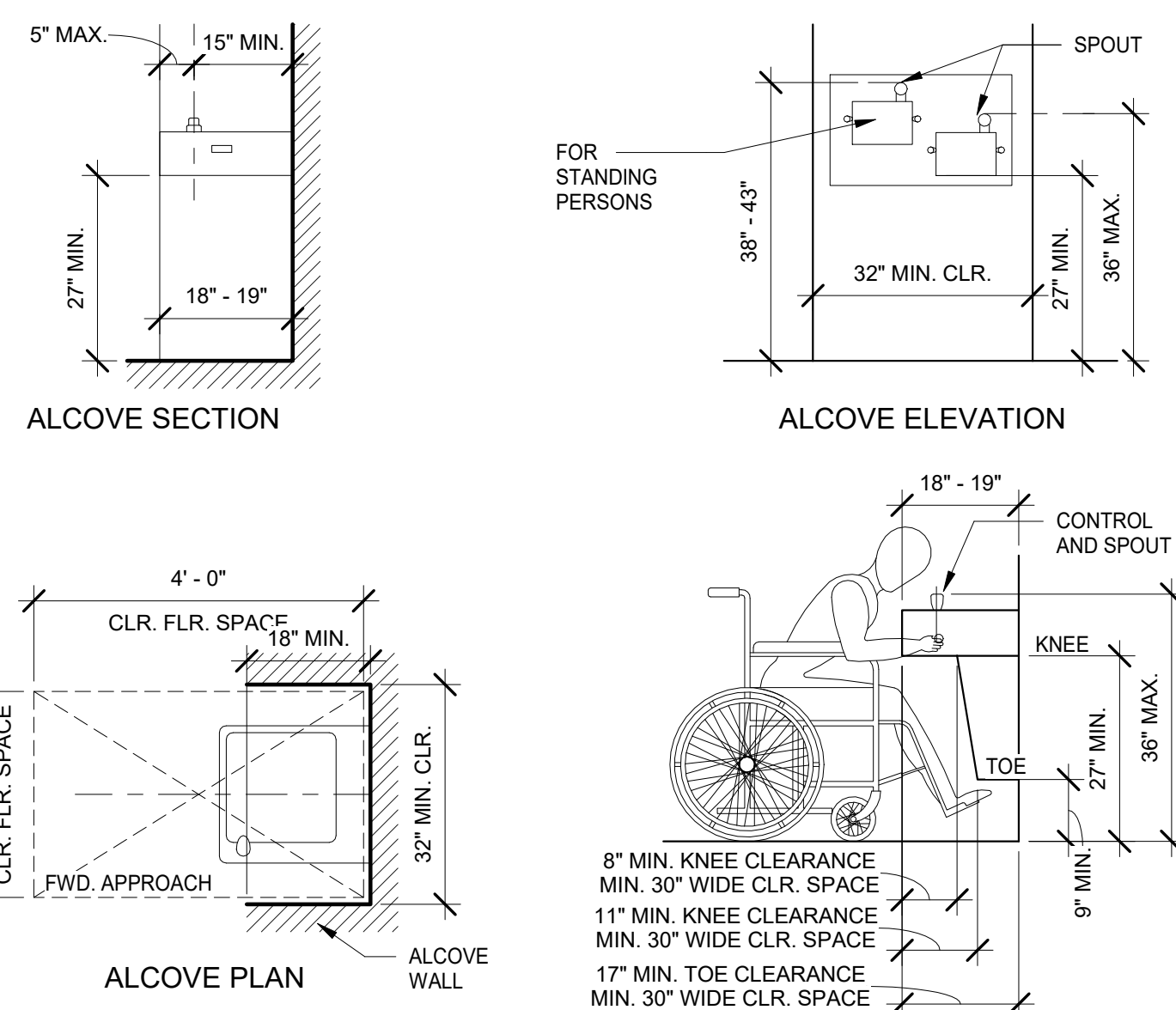
CLEAR FLOOR SPACE @ COMMON AREAS 7



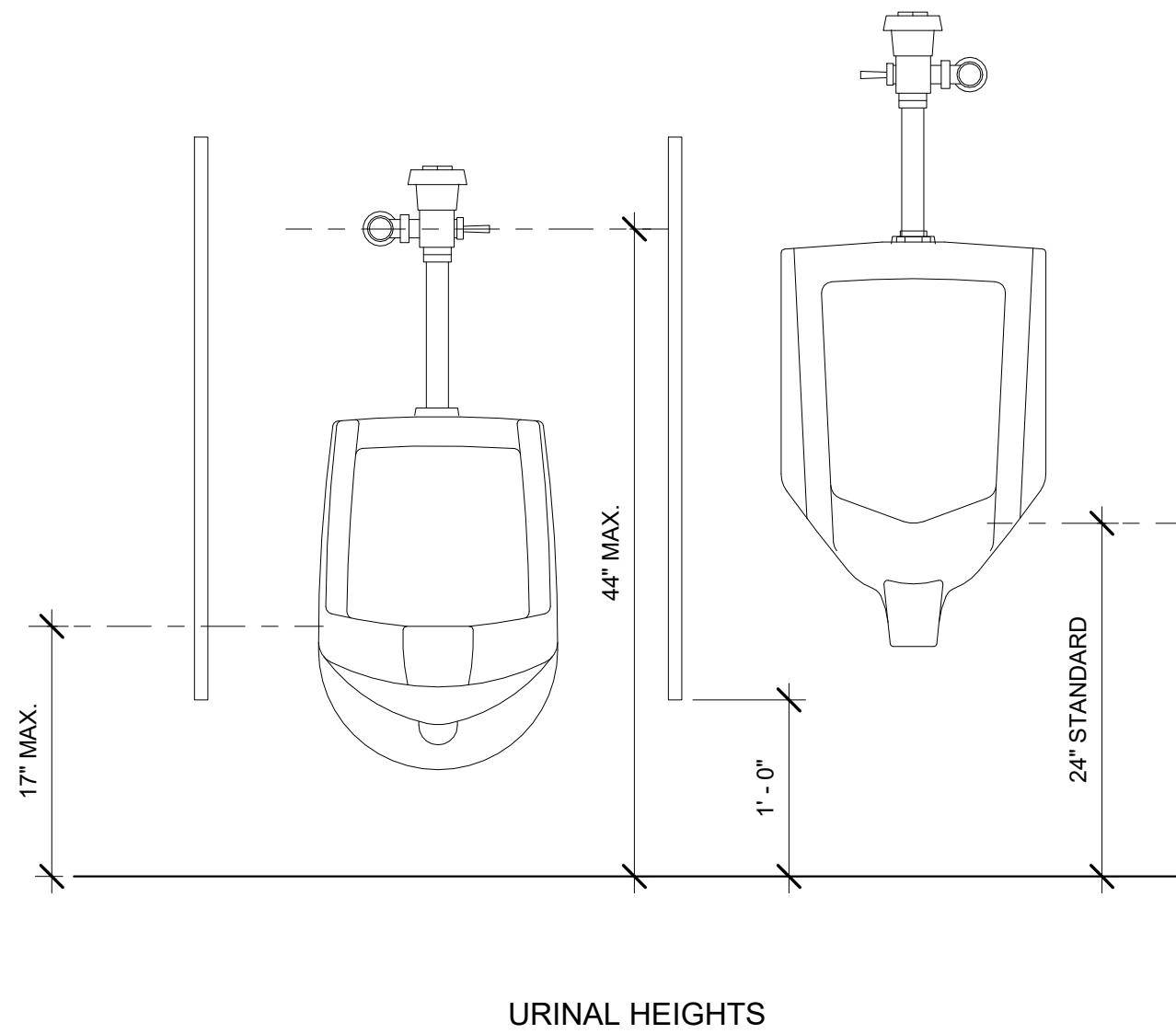
KNEE CLEARANCE 6



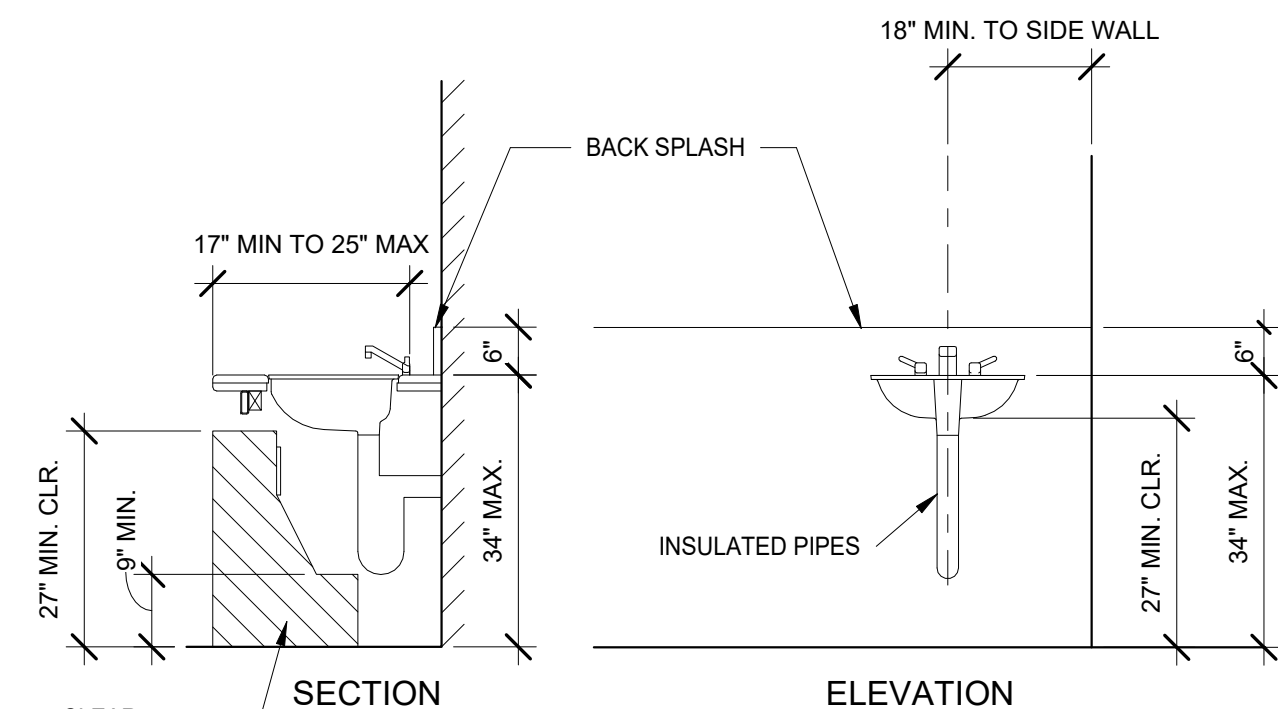
REACH RANGES AND MOUNTING HEIGHTS 5



DRINKING FOUNTAIN 4

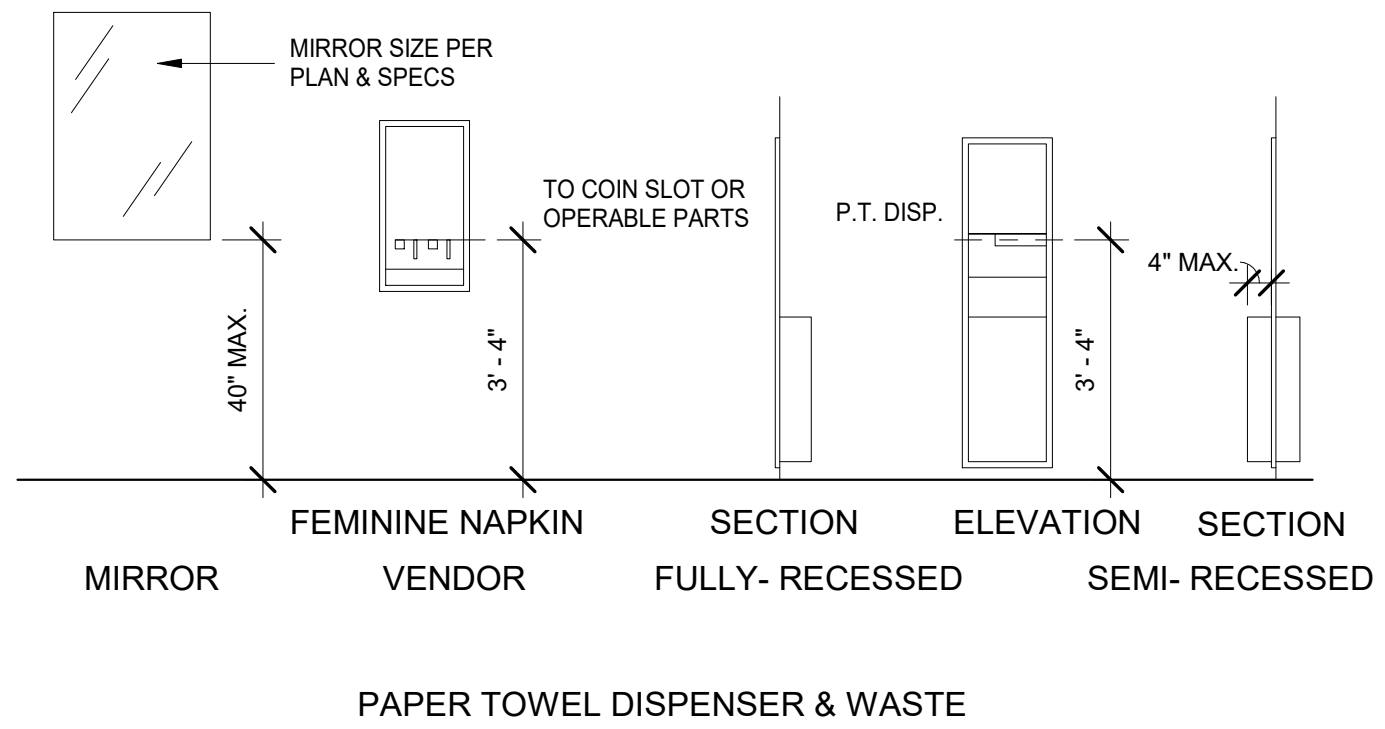


COMMON AREA OR PUBLIC TOILET FACILITIES 3



NOTES:
THERE SHALL BE NO SHARP OR ABRASIVE ELEMENTS UNDER THE LAVATORY. SEE 2013 CBC SECTION 11B-606.5

COMMON AREA OR PUBLIC TOILET FACILITIES 2

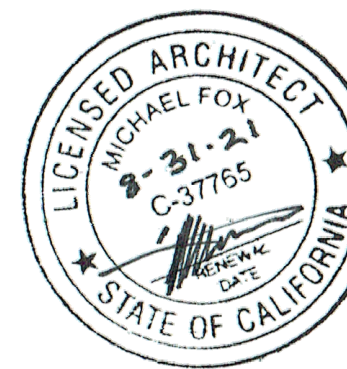


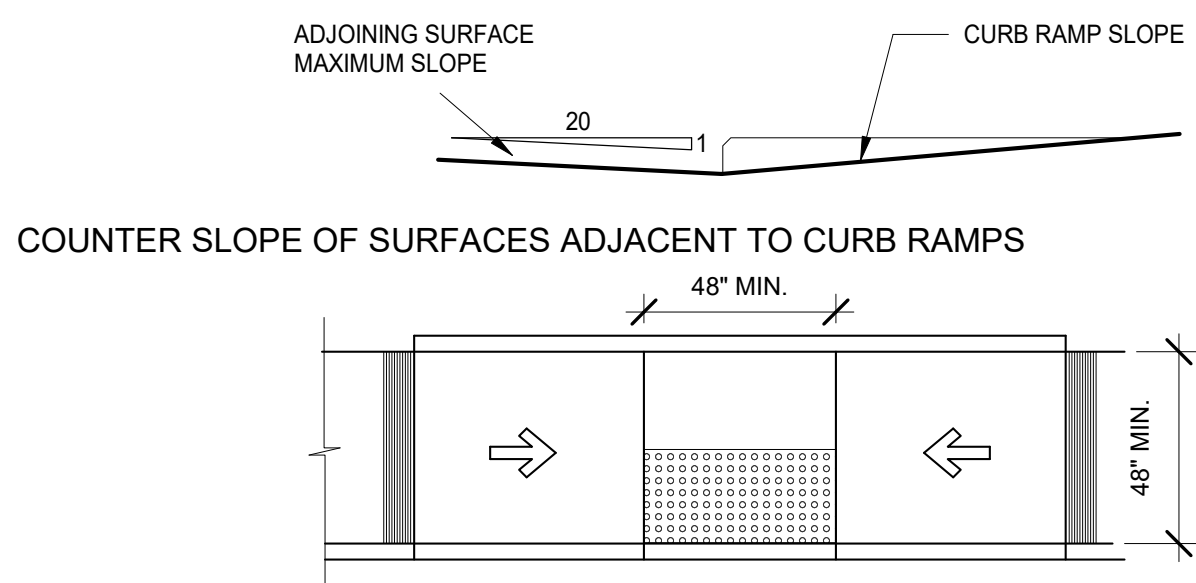
TOILET ROOM ACCESSORY MOUNTING HEIGHTS 1

1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. 5. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS ARE TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION. 6. AS-BUILT CONDITIONS SHOULD BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK. MEANS AND METHODS.

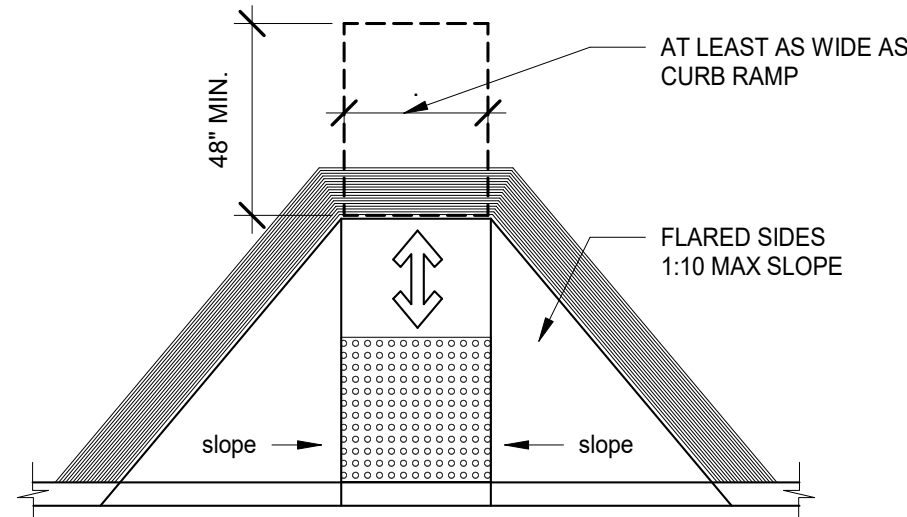
Monarch Bay Estates
MONARCH BAY DRIVE
DANA POINT, CA 92629
MONARCH BAY HOA

1 Permit Submittal 01
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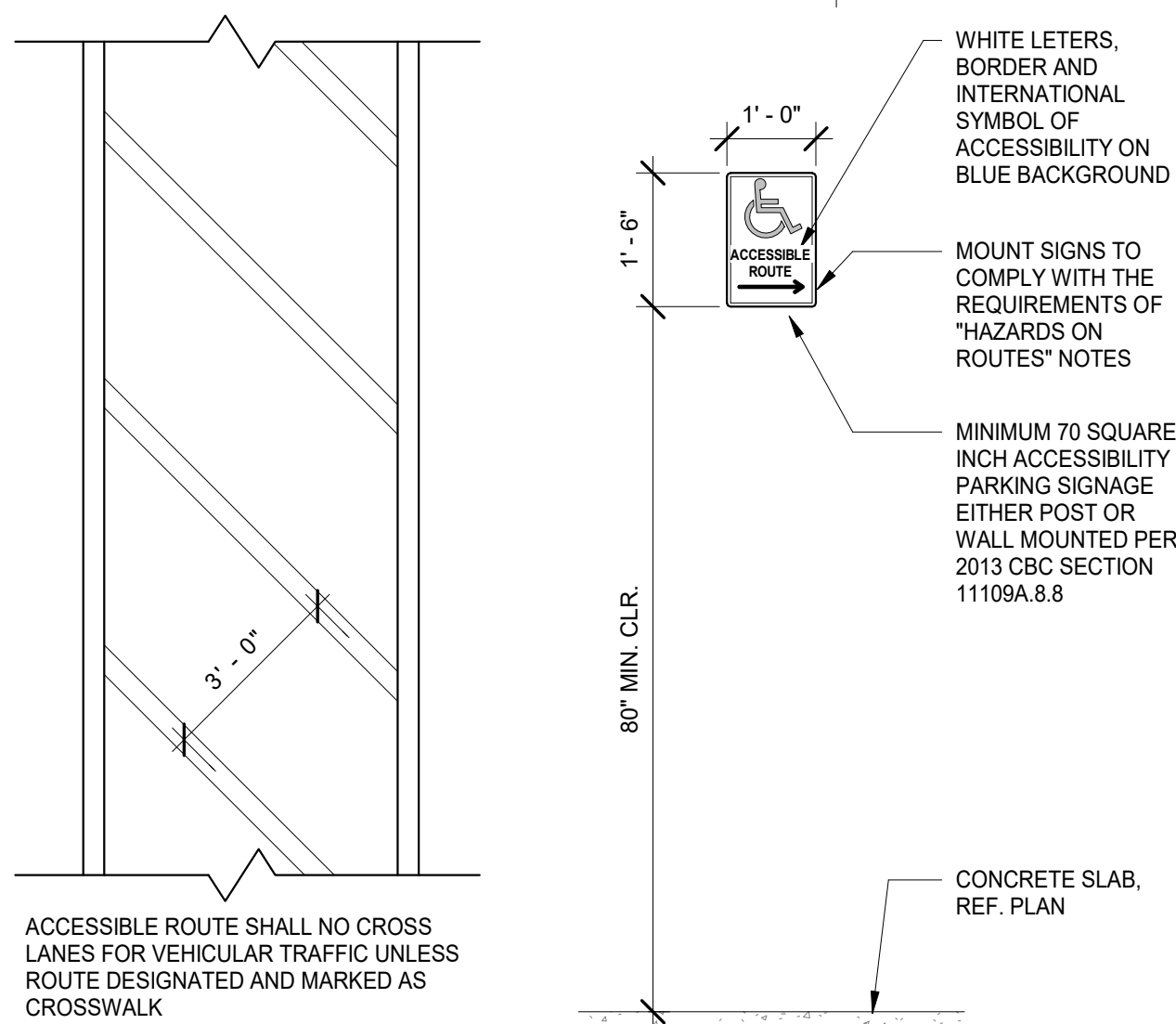


PARALLEL CURB RAMPS



LANDINGS ON THE TOP OF CURB RAMPS

CURB RAMPS 8



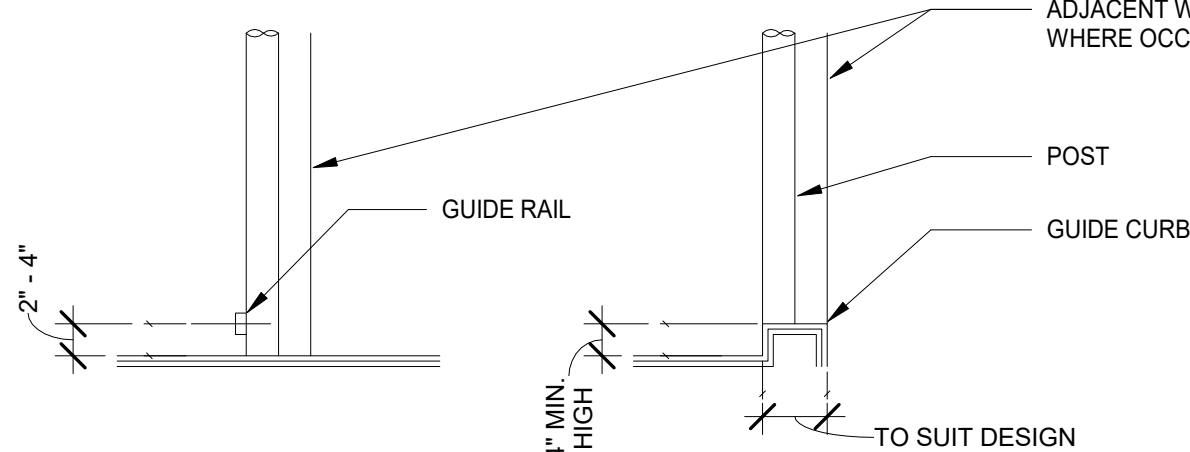
ACCESSIBLE ROUTE DESIGNATION 6

2. HANDRAIL CONFIGURATIONS SHALL COMPLY WITH THE FOLLOWING:
 - a. THE TOP OF HANDRAILS SHALL BE 34" TO 38" ABOVE THE RAMP SURFACE REQUIREMENTS FOR RAMP HANDRAILS ARE THE SAME AS STAIRWAY HANDRAILS
 - b. HANDRAILS SHALL EXTEND A MINIMUM OF 12" BEYOND THE TOP AND BOTTOM OF THE RAMP. WHERE THE EXTENSION CREATES A HAZARD, THE TERMINATION OF THE EXTENSION SHALL BE ROUNDED OR RETURNED SMOOTHLY TO FLOOR, WALL OR POST
 - c. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF 1-1/2" BETWEEN THE WALL AND THE HANDRAIL. HANDRAILS SHALL NOT REDUCE THE REQUIRED MINIMUM CLEAR WIDTH OF RAMPS. HANDRAILS MAY BE LOCATED IN A RECESS IF THE RECESS IS A MAXIMUM OF 3" DEEP AND EXTENDS AT LEAST 18" ABOVE THE TOP OF THE RAIL. ANY WALL OR OTHER SURFACE ADJACENT TO THE HANDRAIL SHALL BE FREE OF SHARP OR ABRASIVE ELEMENTS
 - d. THE HANDGRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/4" NOR MORE THAN 2" IN CROSS-SECTIONAL DIMENSION, OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. THE HANDGRIP PORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS, EDGES SHALL HAVE A MINIMUM RADIUS OF 1/8". HANDRAILS SHALL NOT ROTATE WITHIN THEIR FITTINGS. FOR PUBLIC USE AREAS SEE CBC CHAPTER 11B, DIVISION III, SECTION 1133B.5.5
- H. RAMPS EXCEEDING 10' IN LENGTH AND RAMP LANDINGS HAVING A VERTICAL DROP EXCEEDING 4", NOT BOUND BY WALLS OR A FENCE, SHALL BE PROVIDED WITH ONE OF THE FOLLOWING:
 1. GUIDE CURBS A MINIMUM 2" IN HEIGHT AT EACH SIDE, OR
 2. WHEEL GUIDE RAILS AT EACH SIDE, CENTERED AT 2" TO 4" ABOVE THE SURFACE OF THE RAMP OR RAMP LANDING
- I. MINIMUM HEADROOM CLEARANCE AT STAIRS AND RAMPS SHALL BE 6'-8" MEASURED VERTICALLY FROM A PLANE PARALLEL AND TANGENT TO THE TREAD NOSING TO THE SOFFIT, CEILING OR OTHER PERMANENT FEATURE AT ALL POINTS IN THE STAIR OR RAMP
- J. ANY PATH OF TRAVEL SHALL BE CONSIDERED A RAMP IF ITS SLOPE IS GREATER THAN 1 FOOT OF RISE IN 20 FEET OF HORIZONTAL RUN (5%). THE RAMP SLOPE SHALL NOT EXCEED 8.33%
- K. THE SURFACE OF RAMPS SHALL BE SLIP RESISTANT. OUTDOOR RAMPS AND THEIR APPROACHES SHALL BE CONSTRUCTED SO THAT WATER WILL NOT ACCUMULATE ON WALKING SURFACES

RAILINGS

RAILING DESIGN:

- A. GUARDRAIL SHALL BE 42" MIN. HIGH WITH RAILS AND INTERMEDIATES SPACED AT 3 3/4" MAX. CLEAR
- B. GUARDRAILS SHALL BE DESIGNED FOR A LOAD OF 50 PSF. APPLIED HORIZONTALLY AT RIGHT ANGLES TO THE TOP RAIL. OTHER COMPONENTS OF THE GUARDRAIL SHALL BE DESIGNED FOR A LOAD OF 25 PSF. APPLIED HORIZONTALLY AT RIGHT ANGLES OVER THE ENTIRE TRIBUTARY AREA, INCLUDING OPENINGS AND SPACES BETWEEN RAILS
- C. HANDRAILS SHALL BE DESIGNED FOR A LOAD OF 200 PSF, APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE RAIL



GUIDE RAIL DETAIL

GUIDE CURB DETAIL

GUIDE CURB EXAMPLE

RAMPS AND RAILS 3

GENERAL NOTES

THIS SHEET GENERALLY ILLUSTRATES CODE MINIMUM STANDARDS FOR BUILDING ACCESSIBILITY WITHIN THE PROJECT SITE. SEE PERTINENT SHEETS, DRAWINGS, AND SPECIFICATIONS FOR APPLICATION OF THESE STANDARDS TO THE PROJECT. THIS SHEET DOES NOT APPLY TO PUBLIC ACCOMMODATIONS SUCH AS HOTELS AND HOTELS, PUBLIC USE AREAS, AND HOUSING WHICH PUBLICLY FUNDED

THE INFORMATION CONTAINED WITHIN THESE SHEETS ARE EXCERPTS FROM THE 2019 CALIFORNIA BUILDING CODE (CBC) AND APRIL 1998 FAIR HOUSING ACT (FHA) DESIGN GUIDELINE. AND ARE INTENDED TO PROVIDE THE CONTRACTOR THE GENERAL REQUIREMENTS OF ACCESSIBILITY FOR THIS PROJECT. THE GENERAL CONTRACTOR SHALL BE KNOWLEDGEABLE OF AND SHALL BUILD TO ALL APPLICABLE ACCESSIBILITY CODE REQUIREMENTS. IF FURTHER INFORMATION OR CLARIFICATION IS REQUIRED, CONSULT THE ARCHITECT OR REFERENCE THE 2019 CBC AND FHA DESIGN GUIDELINE PRIOR TO FABRICATION OR INSTALLATION OF WORK

STAIRWAYS

STAIRWAYS SERVING BUILDINGS ON A SITE CONTAINING MULTIFAMILY DWELLING UNITS SHALL COMPLY WITH CBC SECTION 1115A

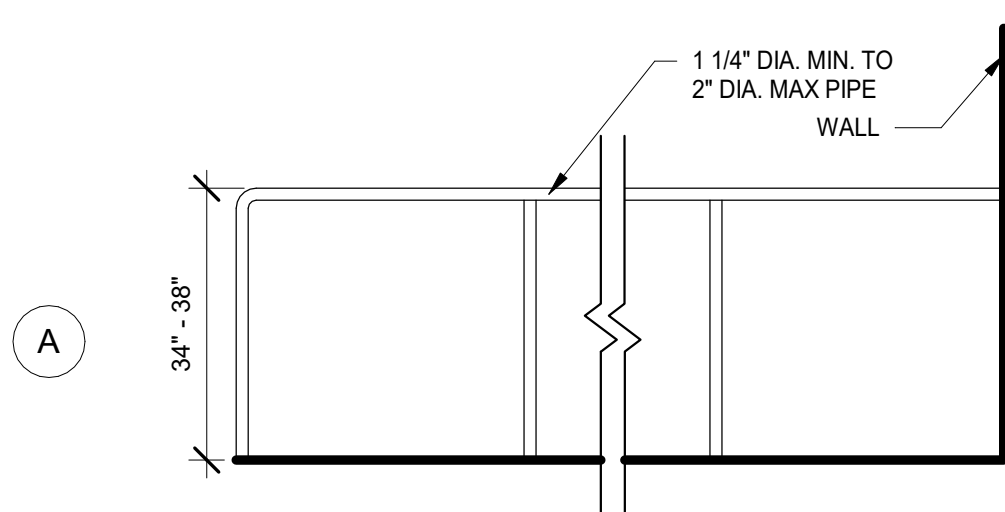
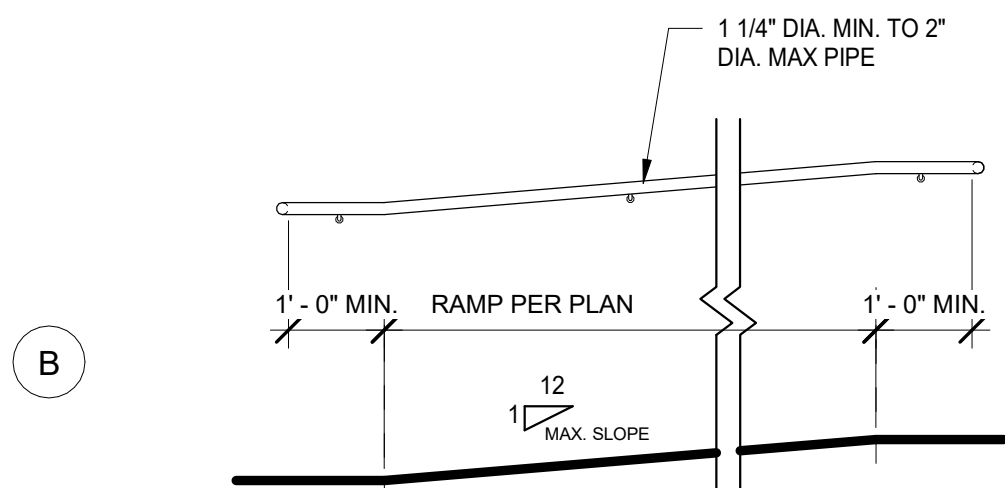
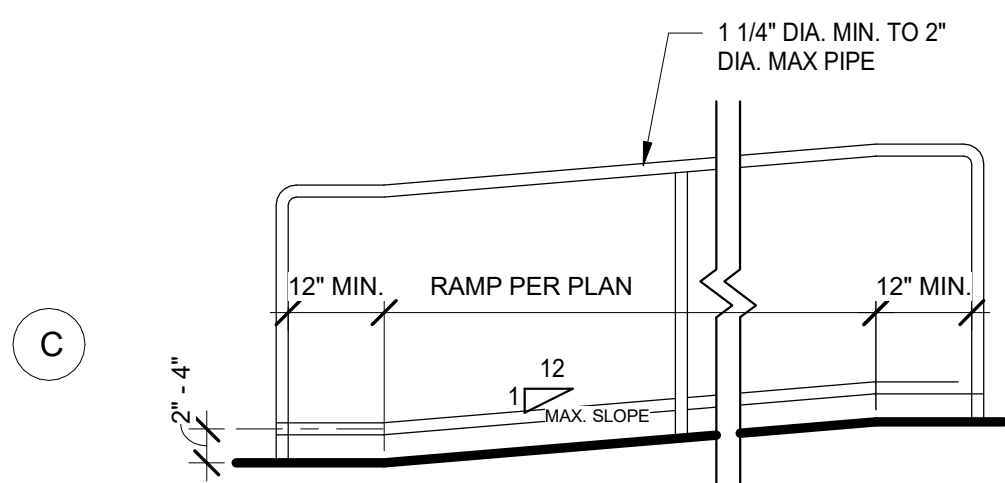
- A. OPEN RISERS ARE NOT PERMITTED ON EXTERIOR STAIRWAYS EXCEPT FOR THE FOLLOWING:
 1. AN OPENING OF NOT MORE THAN 1/2" MAY BE PERMITTED BETWEEN THE BASE OF THE RISER AND THE TREAD
 2. RISERS CONSTRUCTED OF GRATING CONTAINING OPENINGS OF NOT MORE THAN 1/2" MAY BE PERMITTED
- B. ALL TREAD SURFACES SHALL BE SLIP RESISTANT. TREADS SHALL HAVE SMOOTH, ROUNDED, OR CHAMFERED EXPOSED EDGES, AND NO ABRUPT EDGES AT THE NOSING (LOWER FRONT EDGE)
- C. NOSING SHALL NOT PROJECT MORE THAN 1-1/4" PAST THE FACE OF THE RISER BELOW. RISERS SHALL BE SLOPED OR THE UNDERSIDE OF THE NOSING SHALL HAVE AN ANGLE NOT MORE THAN 30 DEGREES FROM THE VERTICAL
- D. EXTERIOR STAIRS SERVING BUILDINGS ON A SITE CONTAINING MULTIFAMILY DWELLING UNITS SHALL HAVE THE UPPER APPROACH AND ALL TREADS AND RAMP SURFACES MARKED BY A STRIPE PROVIDING CLEAR VISUAL CONTRAST. THE STRIPE SHALL BE A MINIMUM OF 2" WIDE TO A MAXIMUM OF 4" WIDE PLACED PARALLEL TO, AND NOT MORE THAN 1" FROM, THE NOSE OF THE STEP OR UPPER APPROACH. THE STRIPE SHALL EXTEND THE FULL WIDTH OF THE STEP OR UPPER APPROACH AND SHALL BE OF MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR. A PAINTED STRIPE SHALL BE ACCEPTABLE
- E. THE UPPER APPROACH AND THE LOWER TREAD OF EACH INTERIOR STAIR SHALL BE MARKED BY A STRIP OF CLEARLY CONTRASTING COLOR AT LEAST 2-INCHES WIDE PLACED PARALLEL TO, AND NOT MORE THAN 1-INCH FROM THE NOSE OF THE STEP OR LANDING TO ALERT THE VISUALLY IMPAIRED. THE STRIP SHALL BE OF A MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR
- F. STAIR HANDRAILS SHALL COMPLY WITH THE FOLLOWING:
 1. STAIRWAYS SHALL HAVE HANDRAILS ON EACH SIDE. INTERMEDIATE HANDRAILS SHALL BE LOCATED EQUIDISTANT FROM THE SIDES OF THE STAIRWAY AND COMPLY WITH CBC SECTION 1012.9. STAIRWAYS SERVING AN INDIVIDUAL DWELLING UNIT MAY HAVE ONE HANDRAIL, EXCEPT THAT STAIRWAYS OPEN ON ONE OR BOTH SIDES SHALL HAVE HANDRAILS ON THE OPEN SIDE OR SIDES
 2. HANDRAIL CONFIGURATIONS SHALL COMPLY WITH THE FOLLOWING:
 - a. THE TOP OF HANDRAILS SHALL BE 34"-38" ABOVE THE NOSING OF THE TREADS
 - b. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS
 - c. HANDRAILS SHALL EXTEND A MINIMUM OF 12" BEYOND THE TOP NOSING AND 12" PLUS THE TREAD WIDTH, BEYOND THE BOTTOM NOSING. WHERE THE EXTENSION CREATES A HAZARD, THE TERMINATION OF THE EXTENSION SHALL BE ROUNDED OR RETURNED SMOOTHLY TO FLOOR, WALL OR POST. WHERE THE STAIRS ARE CONTINUOUS FROM LANDING TO LANDING, THE INNER RAIL SHALL BE CONTINUOUS AND NEED NOT EXTEND OUT INTO THE LANDING
 - d. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF 1-1/2" BETWEEN THE WALL AND THE HANDRAIL. HANDRAILS MAY BE LOCATED IN A RECESS IF THE RECESS IS A MAXIMUM OF 3" DEEP AND EXTENDS AT LEAST 18" ABOVE THE TOP OF THE RAIL. ANY WALL OR OTHER SURFACE ADJACENT TO THE HANDRAIL SHALL BE FREE OF SHARP OR ABRASIVE ELEMENTS
 - e. THE HANDGRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/4" NOR MORE THAN 2" IN CROSS-SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE. THE HANDGRIP PORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS, EDGES SHALL HAVE A MINIMUM RADIUS OF 1/8". HANDRAILS SHALL NOT ROTATE WITHIN THEIR FITTINGS. FOR PUBLIC USE AREAS SEE CBC SECTION 1133B.4.2.6
 - f. A STAIRWAY MORE THAN 60" WIDE MUST HAVE AT LEAST ONE INTERMEDIATE RAIL. FOR EACH 60" OF REQUIRED WIDTH, INTERMEDIATE HANDRAILS SHALL BE SPACED AT EQUAL INTERVALS WITHIN THE WIDTH OF THE STAIRWAY AND BE CONTINUOUS FOR THE ENTIRE LENGTH
 - g. THE UPPER APPROACH AND THE LOWER TREAD OF EACH INTERIOR STAIR SHALL BE MARKED BY A STRIP OF CLEARLY CONTRASTING COLOR AT LEAST 2-INCHES WIDE PLACED PARALLEL TO, AND NOT MORE THAN 1-INCH FROM THE NOSE OF THE STEP OR LANDING TO ALERT THE VISUALLY IMPAIRED. THE STRIP SHALL BE OF A MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR
 - h. STAIR RISERS SHALL BE SUFFICIENTLY SOLID. OPEN RISERS ARE NOT PERMITTED
 - i. PER CBC SECTION 1123A.5 INTERIOR STAIRWAYS WILL HAVE A CONTRASTING COLOR STRIPE 2" WIDE, SET 1" MAX. BACK FROM THE STAIR NOSING, RUNNING THE FULL WIDTH OF THE TREAD. STRIPES WILL OCCUR AT TOP LANDING OF EACH STAIR RUN AND AT THE BOTTOM TREAD OF STAIR RUN

RAMPS & LANDINGS

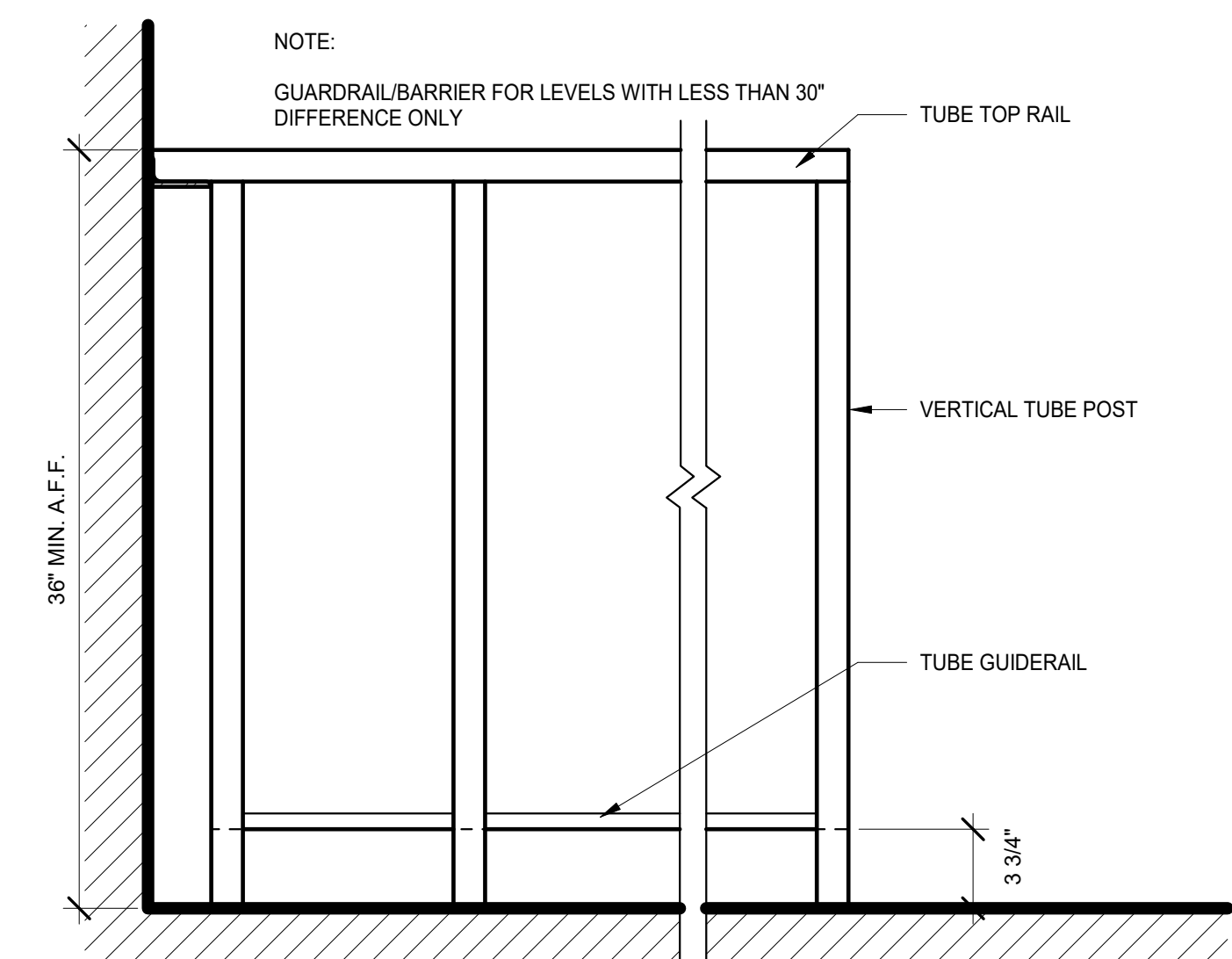
RAMPS AND LANDING ON AN ACCESSIBLE ROUTE SHALL COMPLY WITH CBC SECTION 1114A

- A. THE WIDTH OF RAMPS SHALL BE CONSISTENT WITH THE REQUIREMENTS FOR EXITS PER CBC CHAPTER 10, BUT IN NO CASE SHALL THE RAMP WIDTH BE LESS THAN THE FOLLOWING:
 - a. RAMPS SERVING ACCESSIBLE ENTRANCES TO COVERED MULTIFAMILY BUILDINGS WHERE THE RAMP IS THE ONLY EXIT DISCHARGE PATH AND SERVES AN OCCUPANT LOAD OF 300 OR MORE SHALL HAVE A MINIMUM CLEAR WIDTH OF 60"
 - b. RAMPS SERVING ACCESSIBLE ENTRANCES OF COVERED MULTIFAMILY DWELLINGS WITH AN OCCUPANT LOAD OF 10 OR LESS MAY BE 36" IN CLEAR WIDTH
 - c. ALL OTHER RAMPS SHALL HAVE A MINIMUM CLEAR WIDTH OF 48"
 - d. HANDRAILS, CURBS, WHEEL GUIDES AND/OR APPURTENANCES SHALL NOT PROJECT INTO THE REQUIRED CLEAR WIDTH OF A RAMP. SEE NOTE C BELOW FOR ADDITIONAL INFORMATION
- B. THE MAXIMUM SLOPE OF RAMPS ON AN ACCESSIBLE ROUTE SHALL BE NO GREATER THAN 1 UNIT VERTICAL IN 12 UNITS HORIZONTAL (8-PERCENT SLOPE). TRANSITIONS FROM RAMPS TO WALKS, GUTTERS OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT CHANGES. RAMPS SERVING DECKS, PATIOS OR BALCONIES ARE EXEMPT AND MUST COMPLY WITH CBC SECTION 1132A.4.
- C. THE CROSS SLOPE OF RAMP SURFACES SHALL BE NO GREATER THAN 1/4" PER FOOT (2-PERCENT SLOPE)
- D. OUTDOOR RAMPS, RAMP LANDINGS AND THEIR APPROACHES SHALL BE DESIGNED SO THAT WATER WILL NOT ACCUMULATE ON THE WALKING SURFACE
- E. RAMP LANDINGS SHALL BE LEVEL AND COMPLY WITH THE FOLLOWING:
 1. LANDINGS SHALL BE PROVIDED AT THE TOP AND BOTTOM OF EACH RAMP. INTERMEDIATE LANDINGS SHALL BE PROVIDED AT INTERVALS NOT EXCEEDING 30' OF VERTICAL RISE AND AT EACH CHANGE OF DIRECTION. LANDINGS ARE NOT CONSIDERED IN DETERMINING THE MAXIMUM HORIZONTAL DISTANCE OF EACH RAMP
 2. TOP LANDINGS SHALL NOT BE LESS THAN 60" WIDE. TOP LANDINGS SHALL HAVE A MINIMUM LENGTH OF NOT LESS THAN 60" IN THE DIRECTION OF THE RAMP RUN
 3. THE WIDTH OF BOTTOM AND INTERMEDIATE LANDINGS SHALL NOT BE LESS THAN THE WIDTH OF THE RAMP
 4. DOORS IN ANY POSITION SHALL NOT REDUCE THE MINIMUM DIMENSION OF THE LANDING TO LESS THAN 42" AND SHALL NOT REDUCE THE REQUIRED WIDTH BY MORE THAN 3" WHEN FULLY OPEN
 5. THE WIDTH OF THE LANDING SHALL COMPLY WITH THE STRIKE EDGE EXTENSION AND MANEUVERING SPACE AT DOORS. THE WIDTH OF THE LANDING SHALL EXTEND 24" PAST THE STRIKE EDGE OF ANY DOOR OR GATE FOR EXTERIOR RAMPS AND 18" PAST THE STRIKE EDGE FOR ANY INTERIOR RAMPS
 6. INTERMEDIATE AND BOTTOM LANDINGS AT A CHANGE OF DIRECTION IN EXCESS OF 30 DEGREES SHALL HAVE A LENGTH IN THE DIRECTION OF RAMP RUN OF NOT LESS THAN 72"
 7. OTHER INTERMEDIATE LANDINGS SHALL HAVE A DIMENSION IN THE DIRECTION OF RAMP RUN OF NOT LESS THAN 60"
- F. RAMPS MORE THAN 30" ABOVE THE ADJACENT FLOOR OR GROUND AND OPEN ON ONE OR BOTH SIDES SHALL BE PROVIDED WITH GUARDRAILS AS REQUIRED BY CBC SECTION 1013. GUARDRAILS SHALL BE CONTINUOUS FROM THE TOP OF THE RAMP TO THE BOTTOM OF THE RAMP
- G. RAMP HANDRAILS SHALL COMPLY WITH THE FOLLOWING:
 1. HANDRAILS SHALL BE PROVIDED AT EACH SIDE OF RAMPS WHEN THE SLOPE EXCEEDS 1 UNIT VERTICAL IN 20 UNITS HORIZONTAL (5-PERCENT SLOPE). HANDRAILS ON ALL RAMPS SHALL BE CONTINUOUS EXCEPT AT THE FOLLOWING LOCATIONS:
 - A. CURB RAMPS
 - B. RAMPS THAT SERVE AN INDIVIDUAL DWELLING UNIT MAY HAVE ONE HANDRAIL, EXCEPT THAT RAMPS OPEN ON ONE OR BOTH SIDES SHALL HAVE HANDRAILS PROVIDED ON THE OPEN SIDE OR SIDES
 - C. RAMPS AT EXTERIOR DOOR LANDINGS WITH LESS THAN 6" RISE OR LESS THAN 72" IN LENGTH

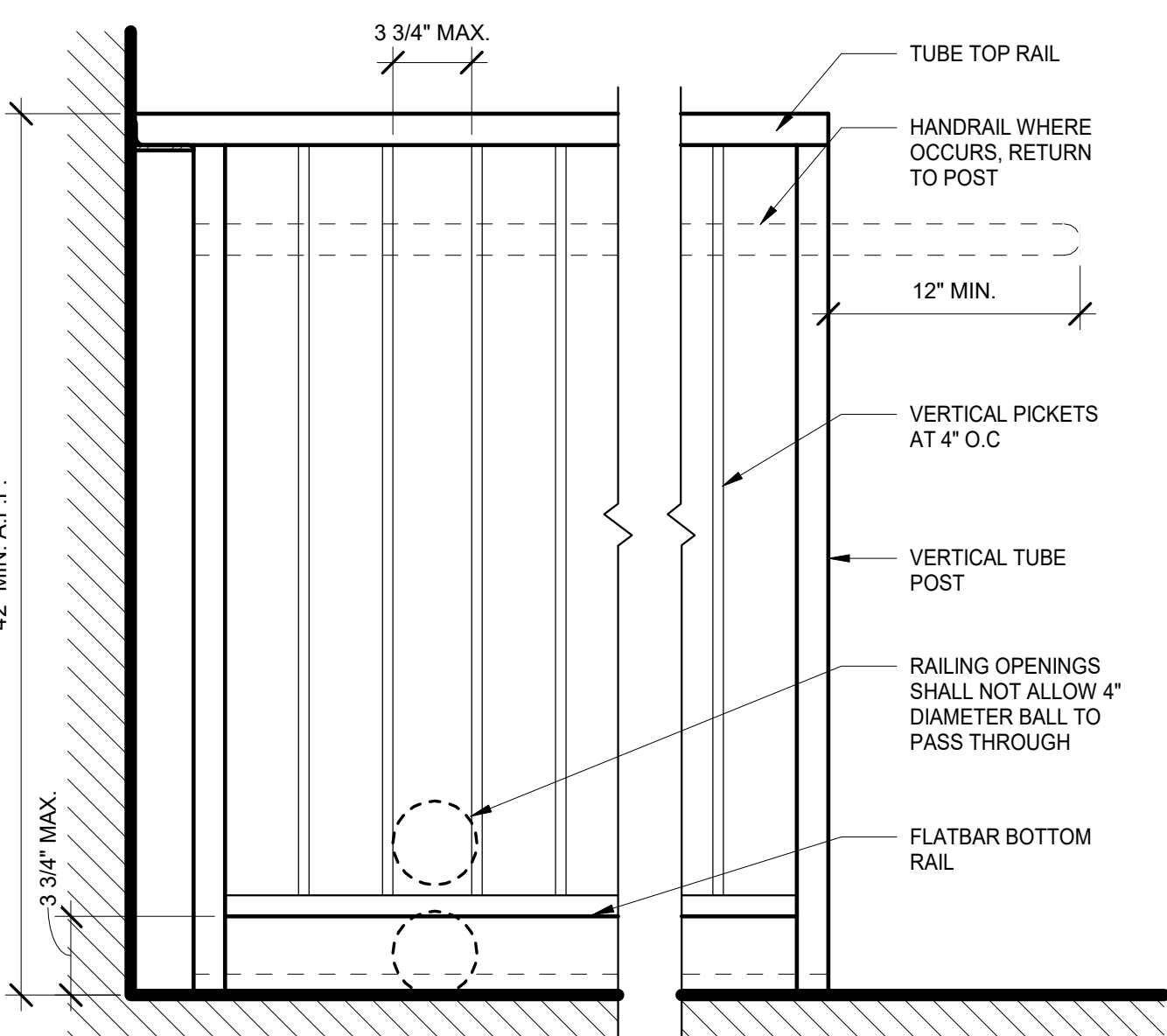
GENERAL NOTES - STAIRS AND RAMPS 1



HANDRAIL CONFIGURATION 7



GUARDRAIL/BARRIER 4



TYPICAL GUARDRAIL 2

Monarch Bay Estates

PROJECT ADDRESS

MONARCH BAY DRIVE
DANA POINT, CA 92629

CLIENT

MONARCH BAY HOA

DRAWING SET

AGENCY

architecture
design
consulting392 camino de estrella 949 325 3001 phone
san clemente, 949 203 3339 fax
california 92672
foxlin.com web
info@foxlin.com email

Job #

1700

Size

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Date

8/25/2021

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Revision #

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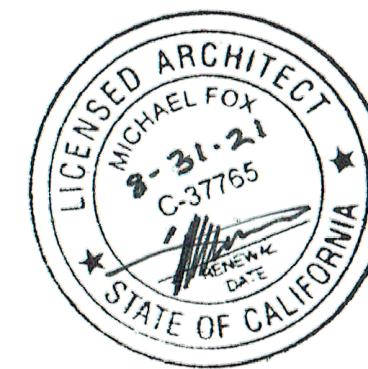
Permit Submittal 01

Sheet Title

ACCESSIBILITY STANDARDS - STAIRS /
RAMPS

Sheet Number

A-101.3



1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.
2. ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.), UNLESS OTHERWISE NOTED.
3. AS-BUILT CONDITIONS TO BE VERIFIED. DRAWINGS REPRESENT DESIGN INTENT ONLY. CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS.
5. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
6. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.

GENERAL NOTES

Monarch Bay Estates

MONARCH BAY DRIVE
DANA POINT, CA 92629

MONARCH BAY HOA

1700

06/21/21

DATE

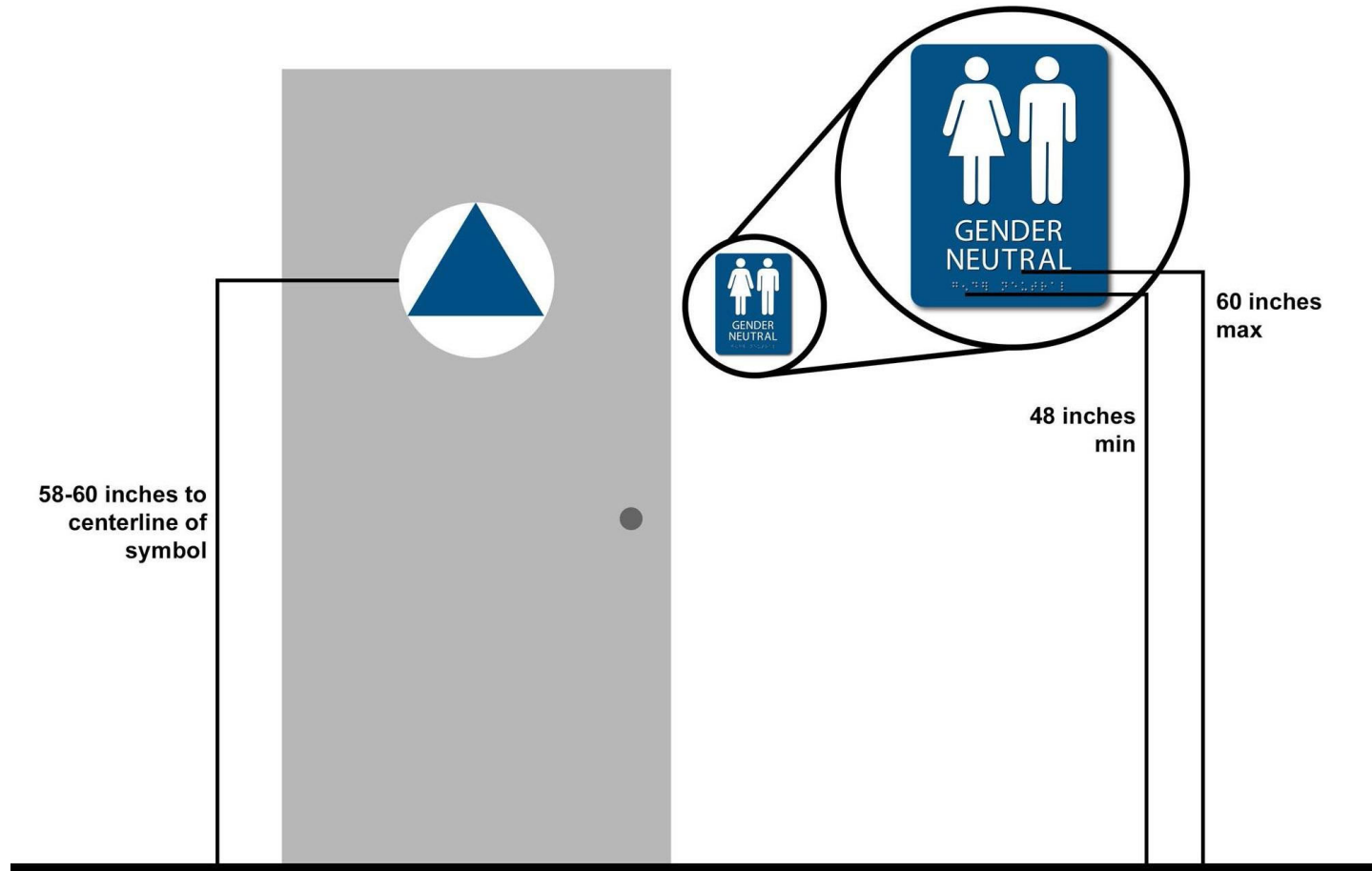
1 Permit Submittal 01

BY

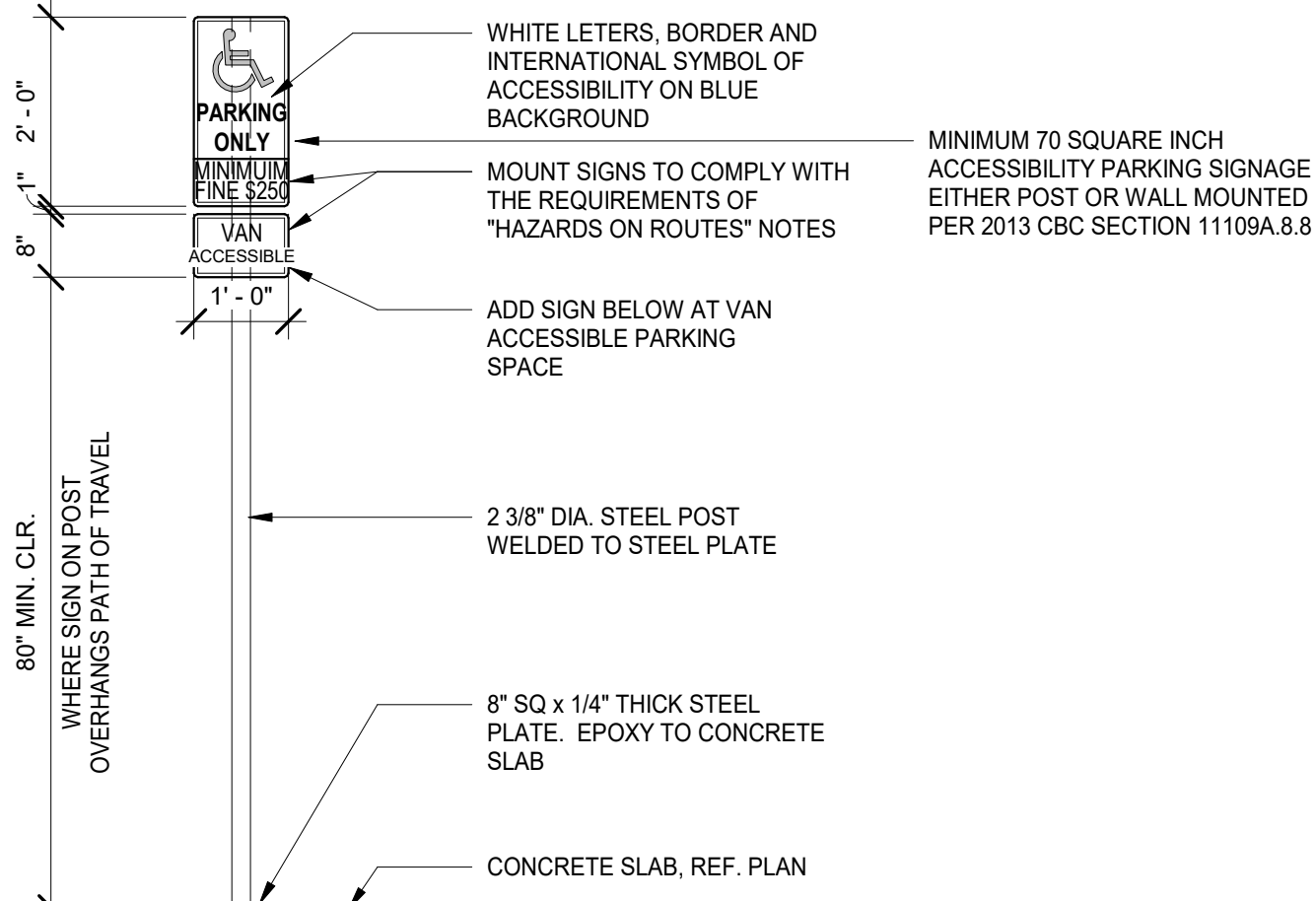
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PERMIT SUBMITTAL

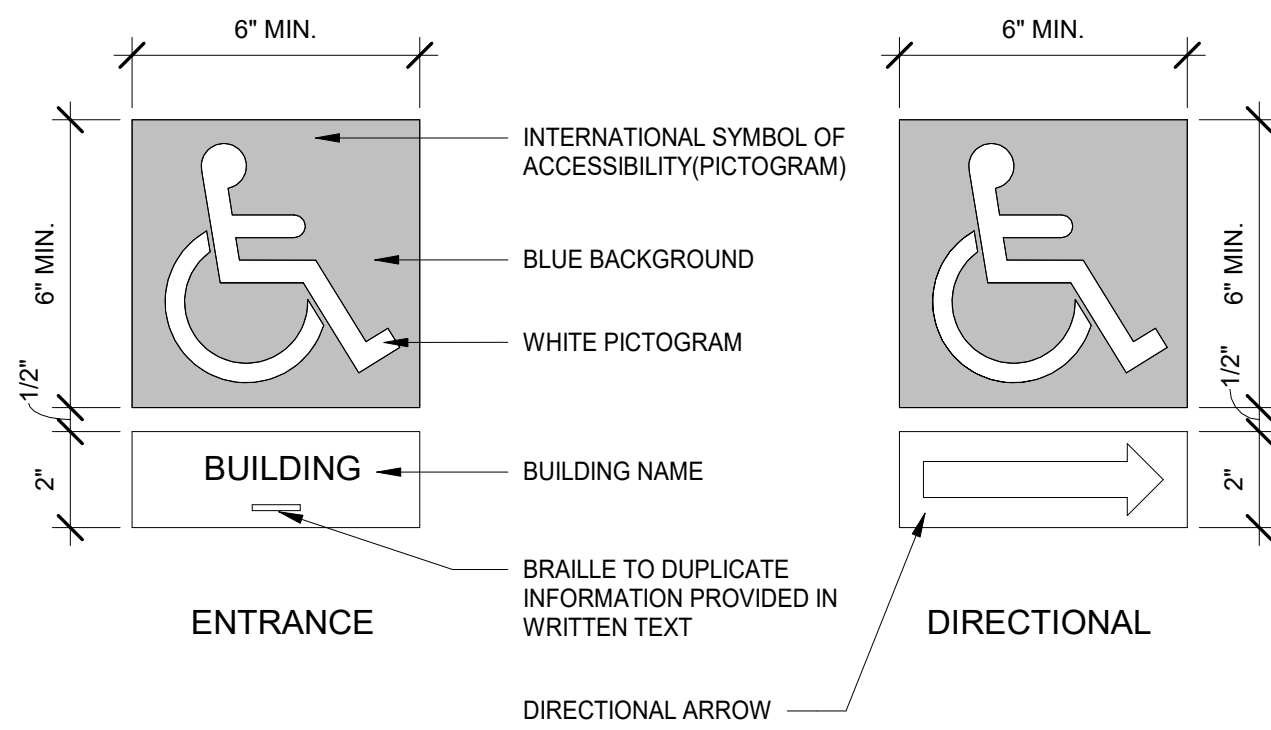
REVISION SCHEDULE



GENDER NEUTRAL FACILITIES 9



ACCESSIBLE PARKING SIGNAGE 6



NOTES:
PROVIDE 6\"/>

ENTRANCE/DIRECTIONAL SIGN 3

GENERAL NOTES

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SEE THE ARCHITECTURAL SITE PLAN FOR THE ACCESSIBLE ROUTE THAT IS INTENDED TO PROVIDE A CONTINUOUS AND UNOBSTRUCTED PATH CONNECTING ALL ACCESSIBLE BUILDINGS WITHIN THE SITE THAT CAN BE NEGOTIATED BY A PERSON WITH A DISABILITY USING A WHEELCHAIR, AND THAT IS ALSO SAFE FOR AND USABLE BY PERSONS WITH OTHER DISABILITIES. SITE ELEMENTS AND SPACES, INCLUDING BUT NOT LIMITED TO, PARKING ACCESS AISLES, SIDEWALKS, RAMPS & CURB RAMPS, LIFTS, LANDSCAPE FEATURES & SWIMMING POOLS, EXTERIOR DRINKING FOUNTAINS, AND PUBLIC TELEPHONES ARE NOT A PART OF THE ARCHITECTS' SCOPE OF WORK. REFER TO THE CIVIL, LANDSCAPE, OR OTHER SPECIALTY CONSULTANT DOCUMENTS FOR APPLICABLE ACCESSIBILITY REQUIREMENTS OUTSIDE THE BUILDINGS DOCUMENTED HEREIN

SIGNAGE - GENERAL

SIGNS: WHEN SIGNS AND OR IDENTIFICATION DEVICES ARE PROVIDED THEY SHALL COMPLY WITH CBC SECTION 1143A (THIS SECTION SHALL APPLY TO FEATURES OF COMMON USE AREAS ON ACCESSIBLE FLOORS OR SITES)

- IDENTIFICATION SIGNS SHALL COMPLY WITH ALL REQUIREMENTS, DIRECTION AND INFORMATION SIGNS SHALL COMPLY WITH FINISH, PROPORTIONS, AND CHARACTER HEIGHT, ACCESSIBILITY SIGNS SHALL COMPLY WITH FINISH AND CONTRAST
- A SITE WITH MULTIPLE BUILDINGS SHALL BE PROVIDED WITH A LIGHTED DIRECTORY SHOWING ADDRESSES OF ALL BUILDINGS AT THE MAIN ENTRANCE TO THE SITE
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND SAMPLES OF ALL SIGNAGE PER SPECIFICATIONS FOR REVIEW BY THE OWNER, ARCHITECT AND SIGNAGE/GRAPHICS DESIGNER. REVIEWED SHOP DRAWINGS SHALL THEN BE SUBMITTED TO THE LOCAL PLANNING, BUILDING AND FIRE DEPARTMENTS, AS WELL AS ANY OTHER AGENCY HAVING JURISDICTION FOR REVIEW AND PERMIT APPROVAL PRIOR TO FABRICATION AND INSTALLATION

ENTRY AND ROOM ID SIGNAGE

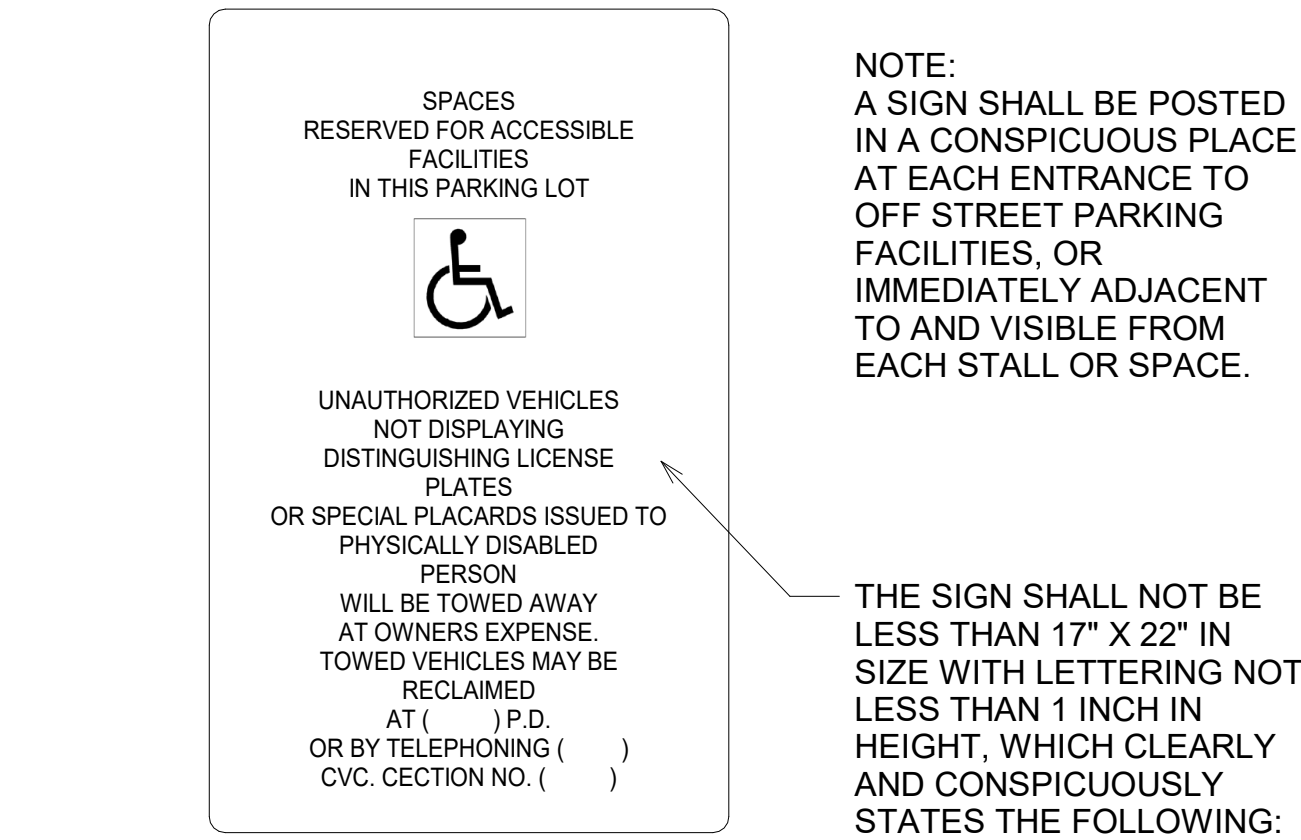
- WHEN SIGNS IDENTIFY PERMANENT ROOMS AND SPACES OF A BUILDING, THEY SHALL COMPLY WITH NOTES E, F, H, I, AND J BELOW
- WHEN SIGNS DIRECT OR GIVE INFORMATION ABOUT PERMANENT ROOMS AND SPACES OF A BUILDING, THEY SHALL COMPLY WITH NOTES E, F, AND G BELOW
- WHEN SIGNS IDENTIFY, DIRECT OR GIVE INFORMATION ABOUT ACCESSIBLE ELEMENTS AND FEATURES OF A BUILDING, THEY SHALL INCLUDE THE APPROPRIATE SYMBOL OF ACCESSIBILITY AND COMPLY WITH NOTES E AND J BELOW
- CHARACTERS, SYMBOLS AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH. CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND, EITHER LIGHT ON A DARK BACKGROUND OR DARK ON A LIGHT BACKGROUND
- CHARACTERS ON SIGNS SHALL HAVE A WIDTH-TO-HEIGHT RATIO OF BETWEEN 3:5 AND 1:1 AND A STROKE WIDTH-TO-HEIGHT RATIO OF BETWEEN 1:5 AND 1:10
- CHARACTERS AND NUMBERS ON SIGNS SHALL BE SIZED ACCORDING TO THE VIEWING DISTANCE FROM WHICH THEY ARE TO BE READ. THE MINIMUM HEIGHT IS MEASURED USING AN UPPERCASE "X". LOWERCASE CHARACTERS ARE PERMITTED. FOR SIGNS SUSPENDED OR PROJECTED ABOVE THE FINISH FLOOR GREATER THAN 80 INCHES, THE MINIMUM CHARACTER HEIGHT SHALL BE 3 INCHES
- WHEN RAISED CHARACTERS ARE REQUIRED OR WHEN PICTORIAL SYMBOLS ARE USED ON SUCH SIGNS, THEY SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
 - CHARACTERS ON SIGNS SHALL BE RAISED 1/32" MINIMUM AND SHALL BE SANS-SERIF UPPERCASE CHARACTERS ACCOMPANIED BY GRADE 2 BRAILLE COMPLYING WITH 1" BELOW
 - RAISED CHARACTERS SHALL BE A MINIMUM 5/8" AND A MAXIMUM OF 2" HIGH
 - PICTORIAL SYMBOL SIGNS SHALL BE ACCOMPANIED BY THE VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM. THE OUTSIDE DIMENSION OF THE PICTOGRAM FIELD SHALL BE A MINIMUM OF 6" IN HEIGHT
 - CHARACTERS AND BRAILLE SHALL BE IN A HORIZONTAL FORMAT. BRAILLE SHALL BE PLACED A MINIMUM 3/8" AND A MAXIMUM 1/2" DIRECTLY BELOW THE TACTILE CHARACTERS, FLUSH LEFT OR CENTERED. WHEN TACTILE TEXT IS MULLINED, ALL BRAILLE SHALL BE PLACED TOGETHER BELOW ALL LINES OF TACTILE TEXT
- CONTRACTED GRADE 2 BRAILLE SHALL BE USED WHEREVER BRAILLE IS REQUIRED IN OTHER PORTIONS OF THESE STANDARDS. DOTS SHALL BE 1/10" ON CENTER IN EACH CELL WITH 2/10" SPACE BETWEEN CELLS, MEASURED FROM THE SECOND COLUMN OF DOTS IN THE FIRST COLUMN OF DOTS TO THE FIRST COLUMN OF DOTS IN THE SECOND COLUMN. DOTS SHALL BE RAISED A MINIMUM OF 1/40" ABOVE THE BACKGROUND. BRAILLE DOTS SHALL BE DOMED OR ROUNDED
- WHERE PERMANENT IDENTIFICATION SIGNS ARE PROVIDED FOR ROOMS AND SPACES, SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH SIDE OF THE DOOR, WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE, INCLUDING AT DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL, PREFERABLY ON THE RIGHT WHERE PERMANENT IDENTIFICATION SIGNAGE IS PROVIDED FOR ROOMS AND SPACES. IT SHALL BE LOCATED ON THE APPROACH SIDE OF THE DOOR AS ONE ENTERS THE ROOM OR SPACE
- DWELLING UNIT NUMBERS SHALL BE VISIBLE TO APPROACHING EMERGENCY TEAMS. THE NUMERALS SHALL BE NO LESS THAN FOUR INCHES IN HEIGHT AND SHALL BE OF A CONTRASTING COLOR AND MOUNTED SO TO BE AUTOMATICALLY LIGHTED DURING THE HOURS OF DARKNESS. SIGNS ARE NOT REQUIRED WITHIN DWELLING UNITS
- BUILDING ADDRESS SIGNAGE SHALL BE VISIBLE DAY AND NIGHT FROM THE NEAREST STREET, EITHER BY MEANS OF ILLUMINATION OR BY THE USE OF REFLECTIVE MATERIALS. BUILDING ADDRESS SHALL HAVE CHARACTERS OF 12 INCH MINIMUM HEIGHT

STAIR & EXIT/EVACUATION SIGNAGE

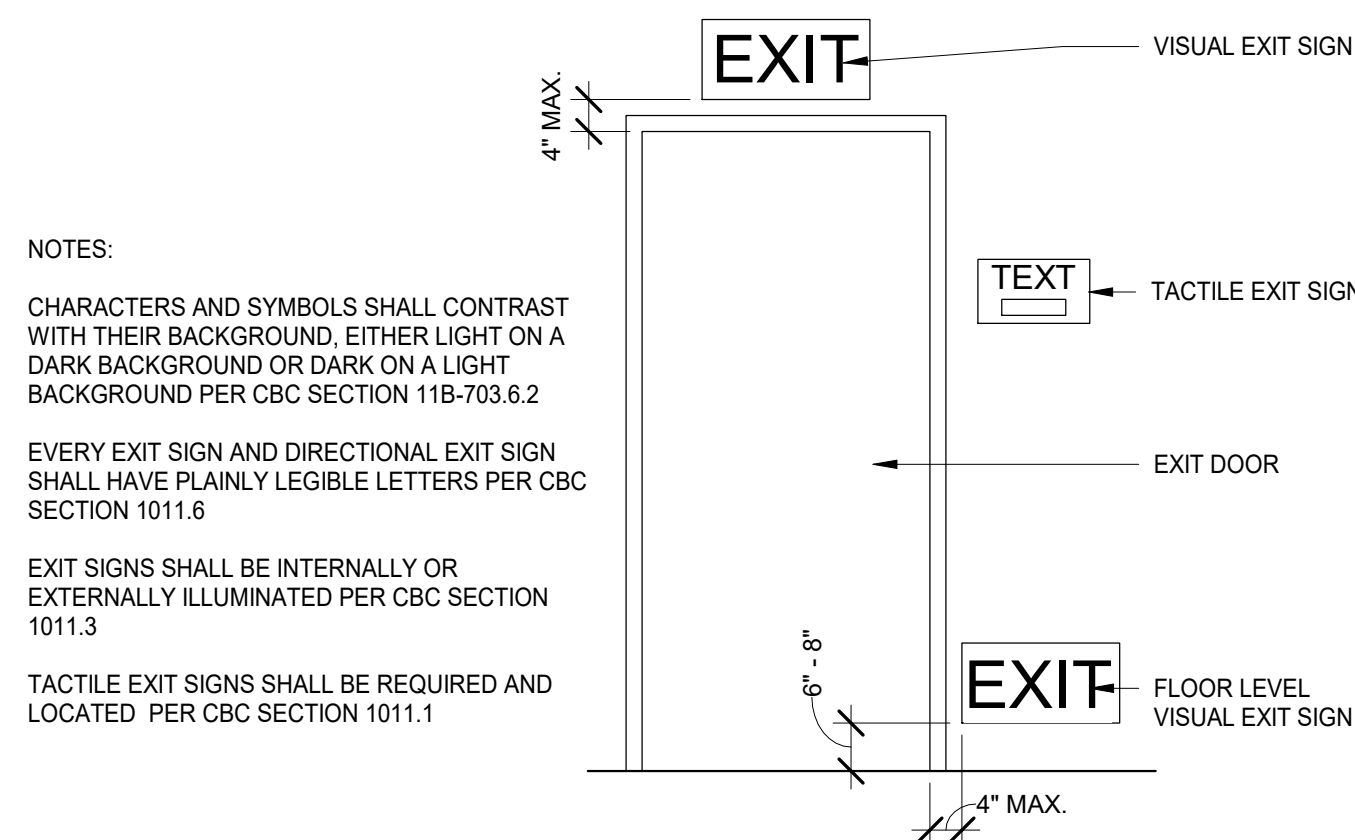
- PROVIDE STAIRWAY NUMBERING SIGNAGE FOR ALL STAIRWAYS. AN APPROVED SIGN SHALL BE LOCATED AT EACH FLOOR LEVEL LANDING IN ALL ENCLOSED STAIRWAYS. THE SIGN SHALL INDICATE FLOOR LEVEL, TERMINUS OF THE TOP AND BOTTOM OF THE STAIRWAY AND THE IDENTIFICATION OF THE STAIRWAY
- SIGNS THAT IDENTIFY EXITS SHALL BE LOCATED ON THE SAME SIDE OF THE DOOR AS THE VISUAL EXIT SIGN. MOUNTING HEIGHT SHALL BE 60" ABOVE THE FINISH FLOOR TO THE CENTERLINE OF THE SIGN. MOUNTING LOCATION SHALL BE DETERMINED SO THAT A PERSON MAY APPROACH WITHIN 3' OF THE SIGN WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF A DOOR
- EXITS AND EXITS ACCESS DOORS SHALL BE MARKED BY AN APPROVED EXIT SIGN READILY VISIBLE FROM ANY DIRECTION OF EGRESS. SIGNAGE PER CBC SECTION 1011
- BUILDING EVACUATION SIGNAGE TO BE DESIGNED AND INSTALLED PER THE FIRE AUTHORITY'S REQUIREMENTS. SEE DETAIL 1 SHEET A007.9

PARKING SIGNAGE

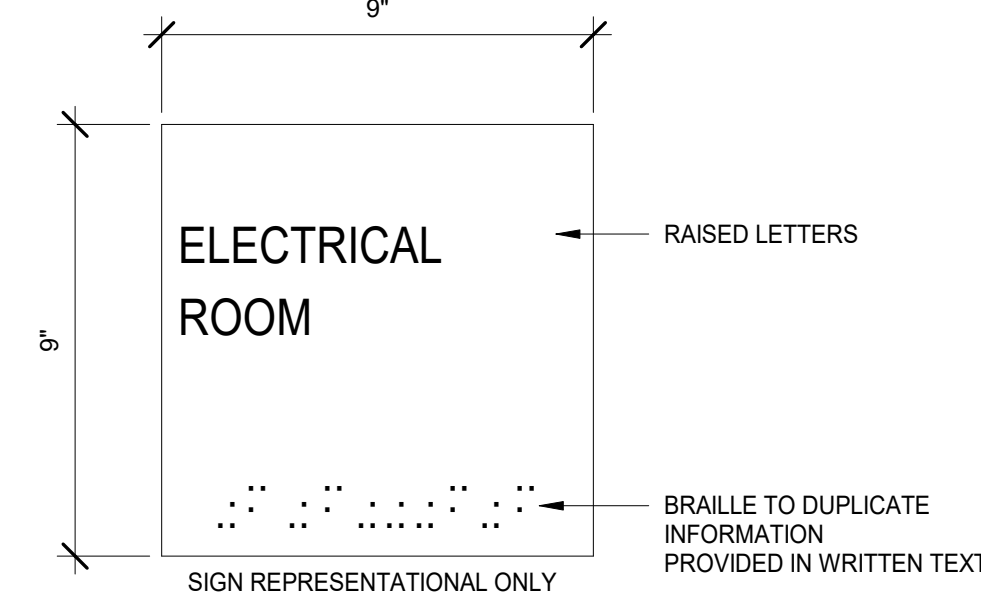
- 11B-502.3.3 MARKING
 - ACCESS AISLES SHALL BE MARKED WITH A BLUE PAINTED BORDERLINE AROUND THEIR PERIMETER. THE AREA WITHIN THE BLUE BORDERLINES SHALL BE MARKED WITH HATCHED LINES A MAXIMUM OF 36 INCHES (914 MM) ON CENTER IN A COLOR CONTRASTING WITH THAT OF THE AISLE SURFACE, PREFERABLY BLUE OR WHITE. THE WORDS "NO PARKING" SHALL BE PAINTED ON THE SURFACE WITHIN EACH ACCESS AISLE IN WHITE LETTERS A MINIMUM OF 12 INCHES (305 MM) IN HEIGHT AND LOCATED TO BE VISIBLE FROM THE ADJACENT VEHICULAR WAY. ACCESS AISLE MARKINGS MAY EXTEND BEYOND THE MINIMUM REQUIRED LENGTH.



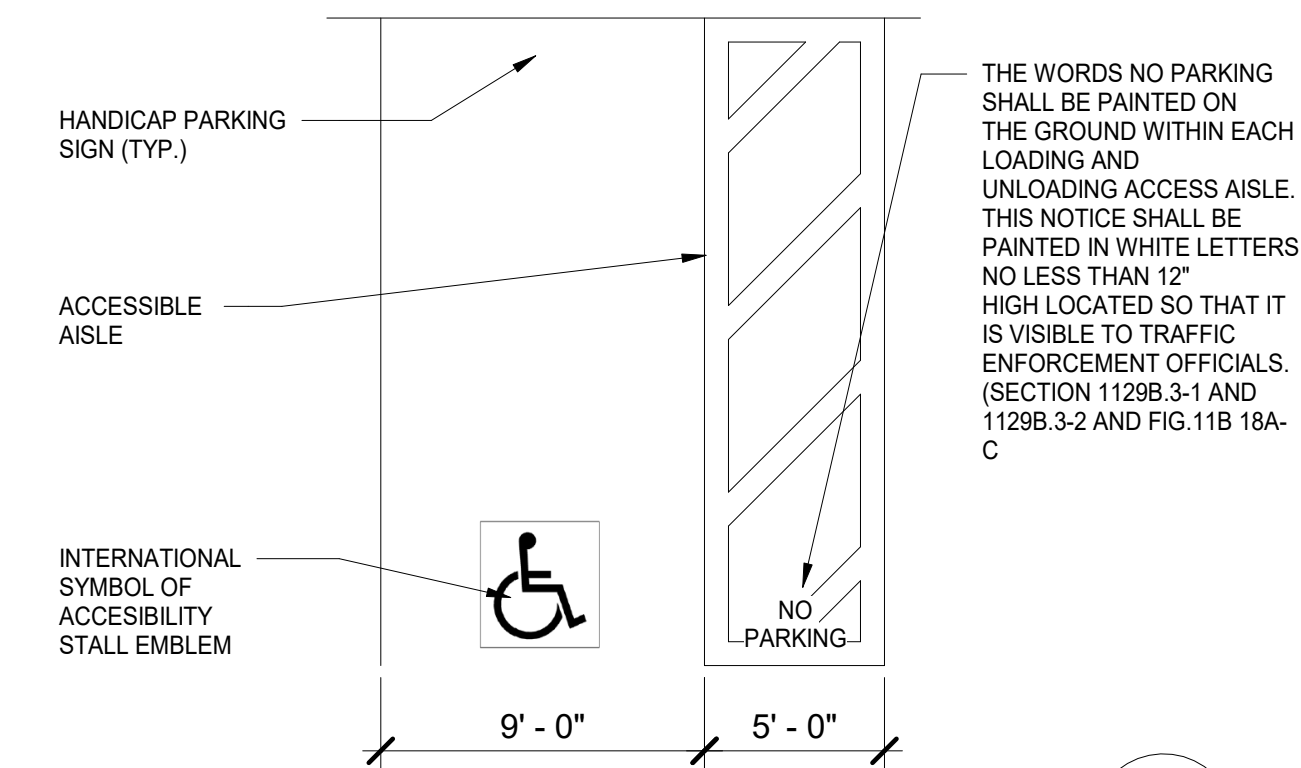
ADA SIGNAGE 8



EXIT DOOR ID 5

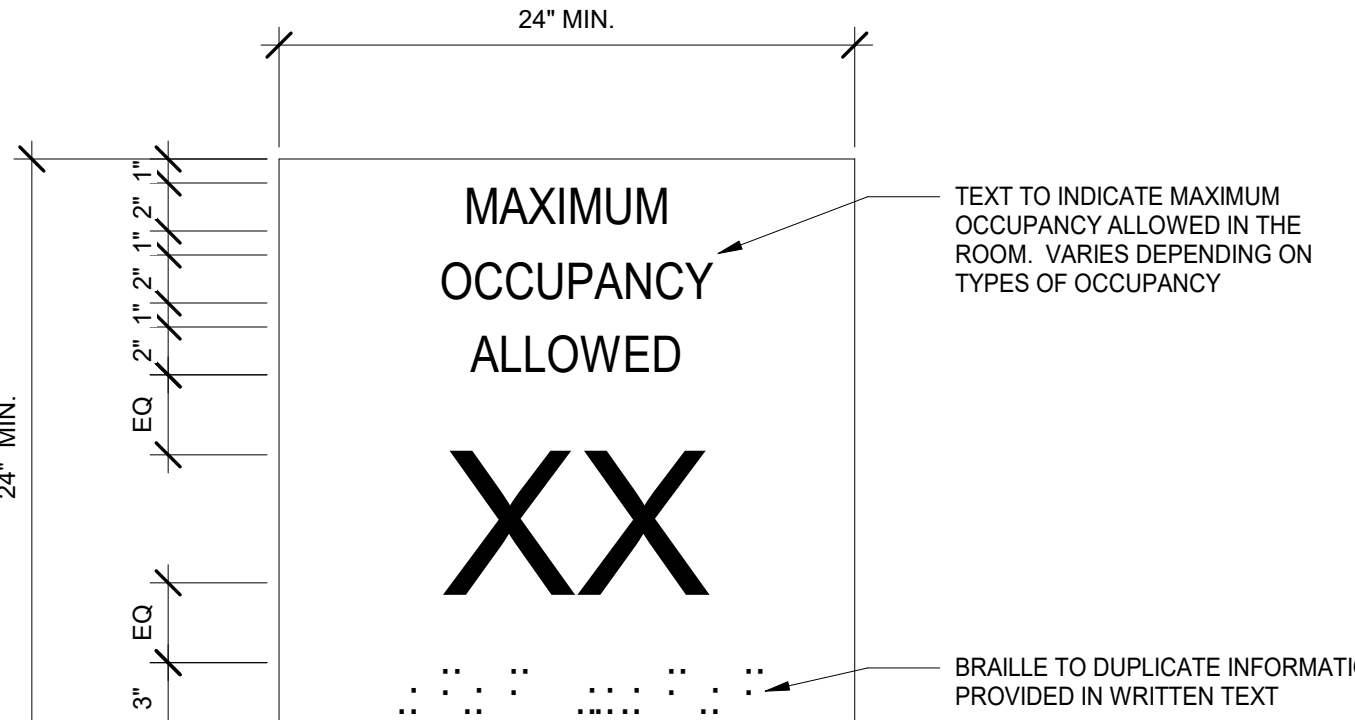


ROOM IDENTIFICATION SIGN 2

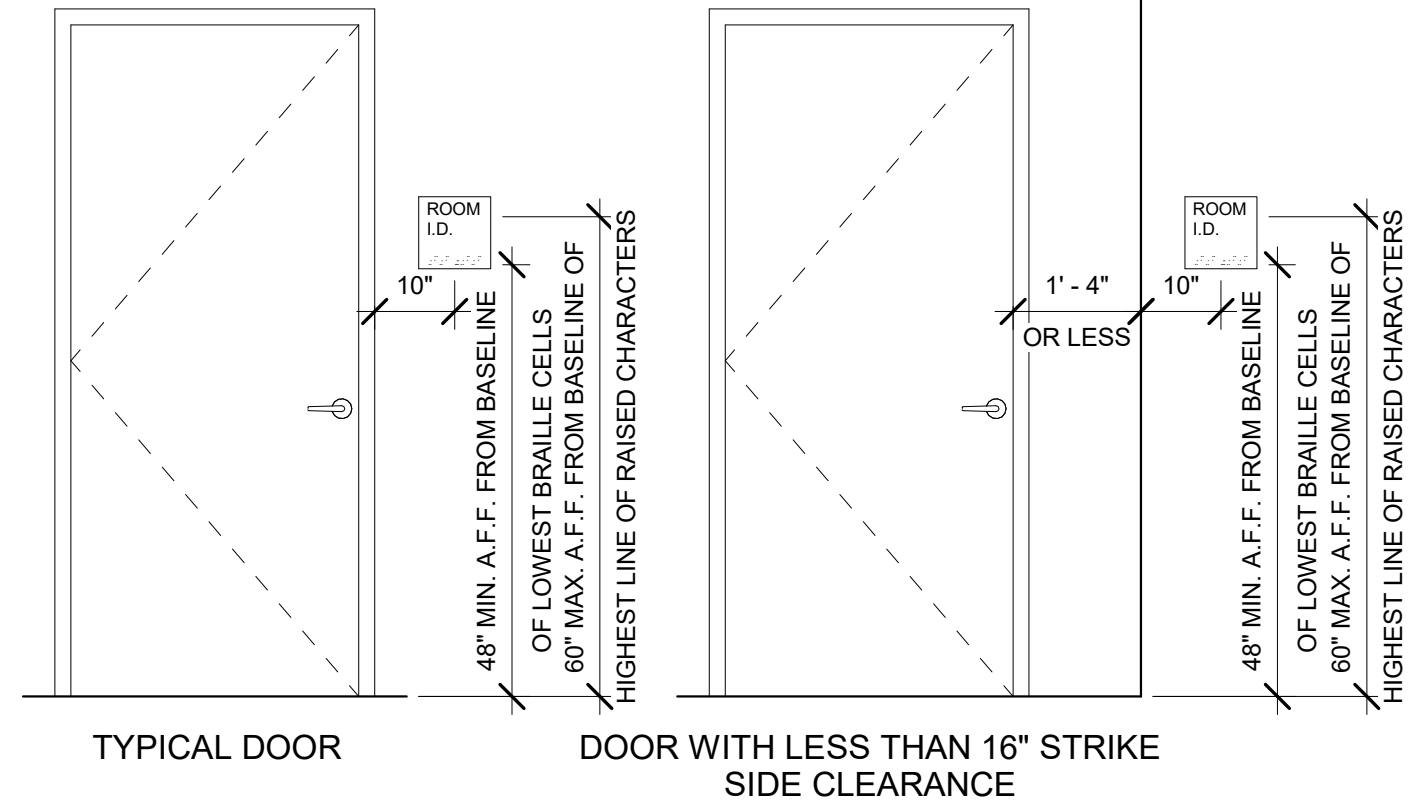


STANDARD ACCESSIBLE

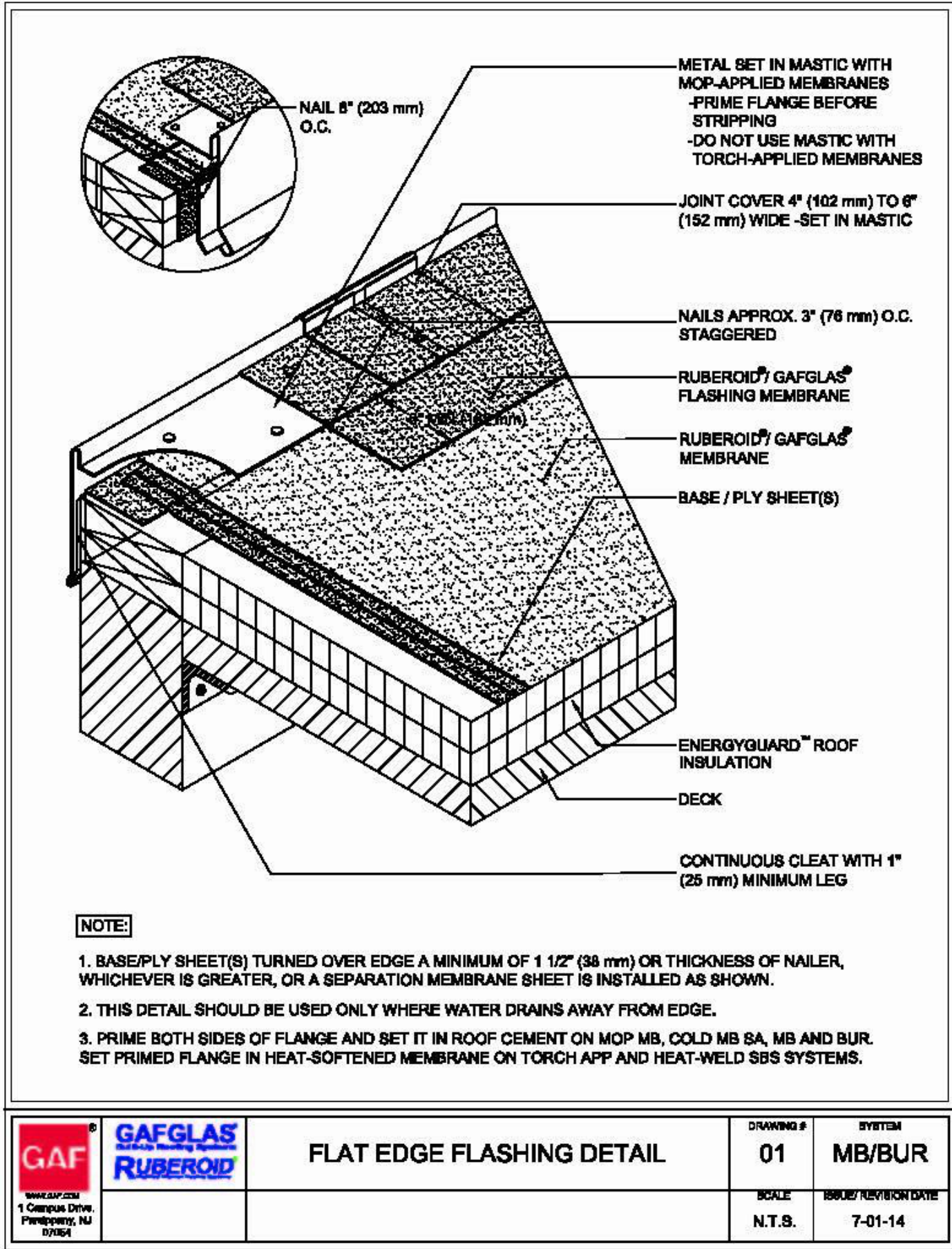
ADA PARKING 7



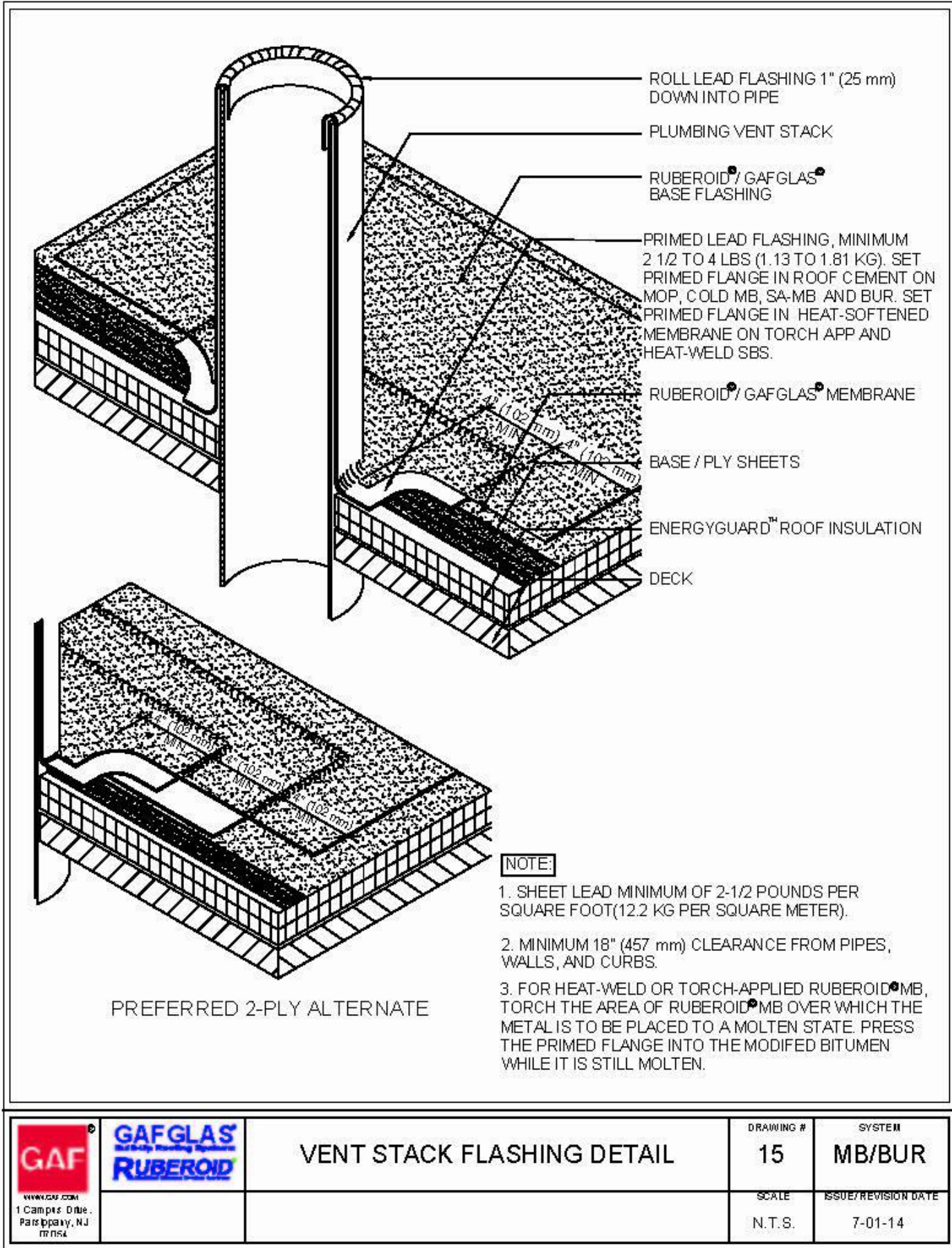
GROUP A OCCUPANCY SIGN 4



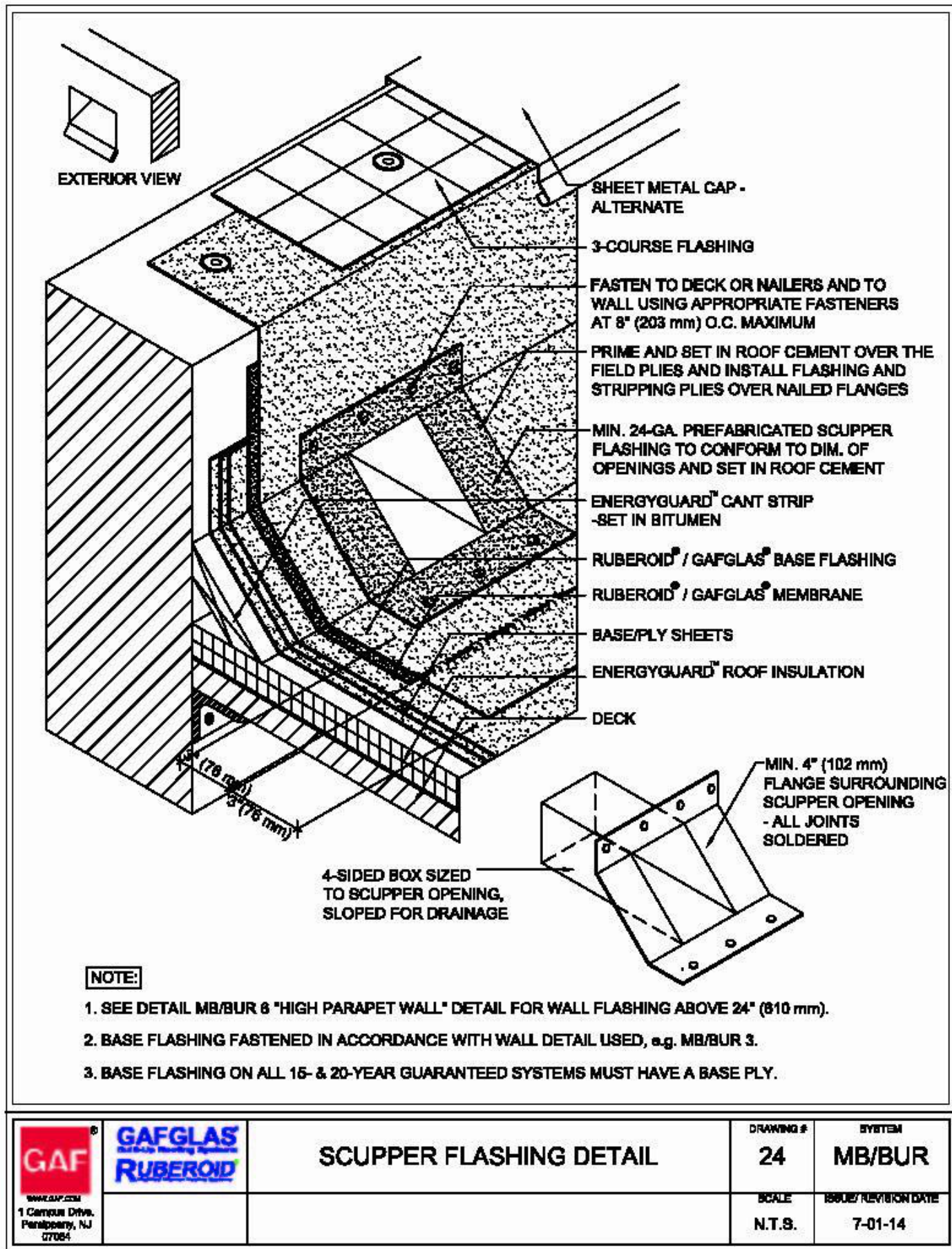
DOOR SIGNAGE LOCATION - TYPICAL 1



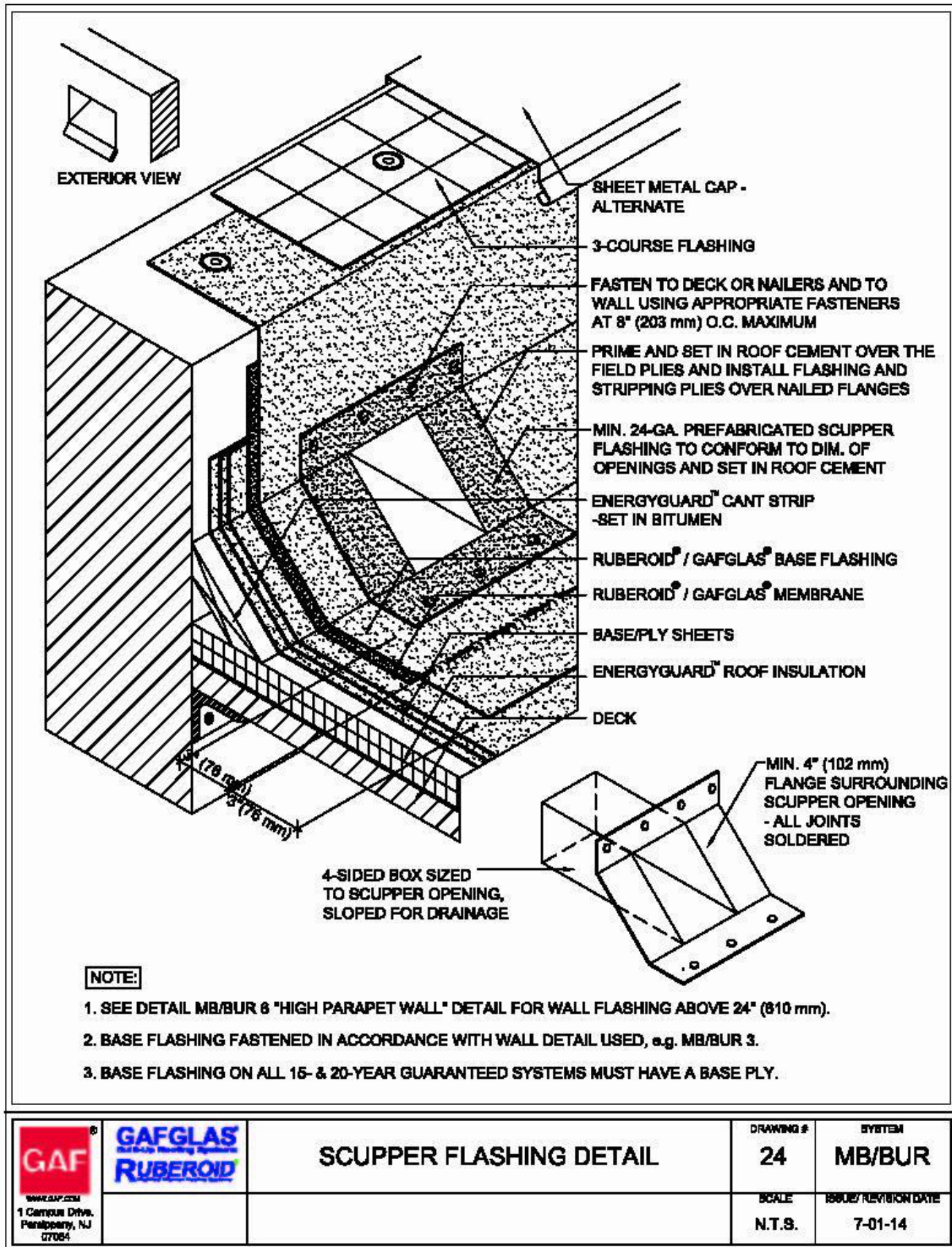
ROOF DETAIL@ ROOF EDGE 6



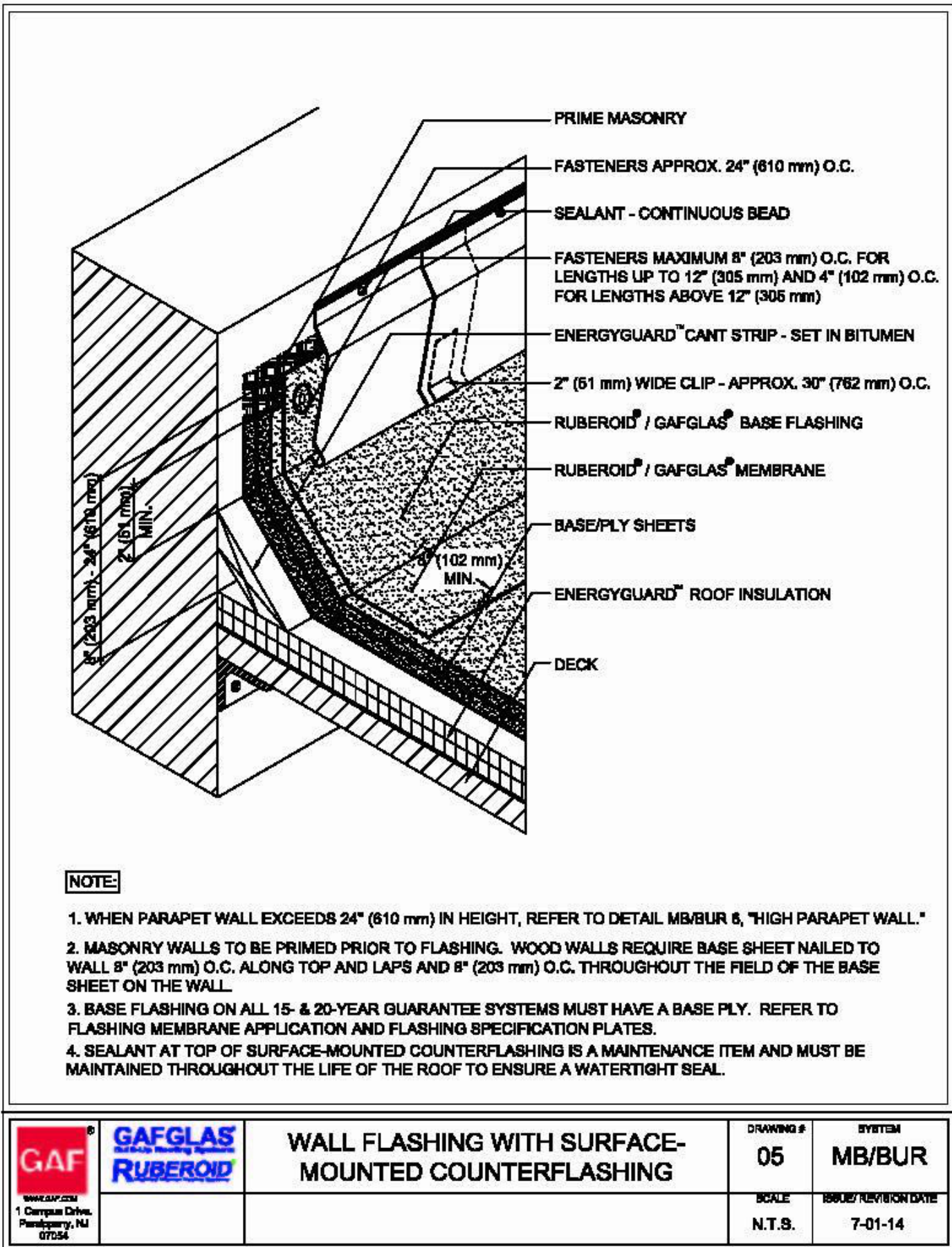
ROOF DETAIL @ PENETRATION 4



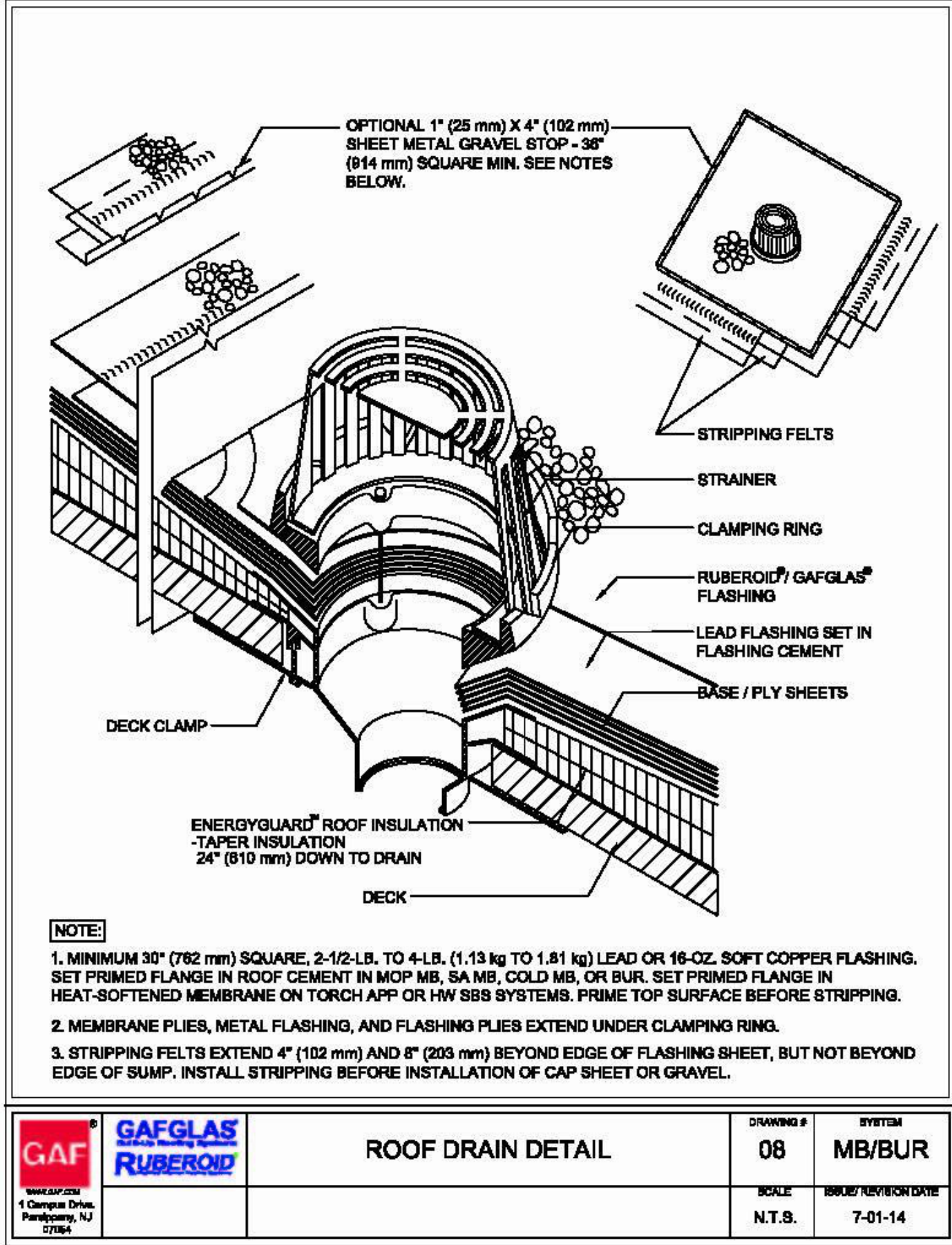
ROOF DETAIL @ OVERFLOW SCUPPER 2



ROOF DETAIL @ RAISED EDGE 5



ROOF DETAIL @ PARAPET 3



ROOF DETAIL @ DRAIN 1

FM
APPROVED

ANCHOR-TITE DRIP EDGE

ANSI/SPRI ES-1 TESTED

NOTES:
① FASCIA COVER PROVIDED WITH 1\"/>

ANCHOR-TITE DRIP EDGE DIMENSIONS

PRODUCT ID. NO.	H DIM
<input type="checkbox"/> AFDE-30	3"
<input type="checkbox"/> AFDE-45	4½"
<input type="checkbox"/> AFDE-60	6"
<input type="checkbox"/> AFDE-75	7½"

MATERIAL:
☐ 24 GA. GALVANIZED STEEL
☐ .040\"/>

COLOR: _____
FINISH: _____

QUANTITIES:
_____ LINEAL FEET 12\"/>

PROJECT: _____
ARCHITECT: _____
ROOFING CONTRACTOR: _____
REPRESENTATIVE/DISTRIBUTOR: _____

Corporate Offices, Manufacturing
1600 Airport Road; Waukesha, WI 53188
Phone: 800-558-2162
Fax: 800-373-9156
www.metalera.com
DATE: 07/10/19 **SHT.#** ____ **OF** ____
DRN BY: JJC **DWG# 11010-20546**
CKD BY: SAK **G**

METAL-ERA
Roof Edge Solutions

ANCHOR-TITE DRIP EDGE

ANCHOR-TITE DRIP EDGE 2

FM
APPROVED

ANCHOR-TITE DRIP EDGE
PITCHED ROOF FLANGE VERSION

ANSI/SPRI ES-1 TESTED

NOTES:
① FASCIA COVER PROVIDED WITH 1\"/>

ANCHOR-TITE DRIP EDGE DIMENSIONS

PRODUCT ID. NO.	H DIM
<input type="checkbox"/> AFDE-30	3"
<input type="checkbox"/> AFDE-45	4½"
<input type="checkbox"/> AFDE-60	6"
<input type="checkbox"/> AFDE-75	7½"

MATERIAL:
☐ 24 GA. GALVANIZED STEEL
☐ .040\"/>

COLOR: _____
FINISH: _____

QUANTITIES:
_____ LINEAL FEET 12\"/>

PROJECT: _____
ARCHITECT: _____
ROOFING CONTRACTOR: _____
REPRESENTATIVE/DISTRIBUTOR: _____

Corporate Offices, Manufacturing
1600 Airport Road; Waukesha, WI 53188
Phone: 800-558-2162
Fax: 800-373-9156
www.metalera.com
DATE: 07/11/19 **SHT.#** ____ **OF** ____
DRN BY: JJC **DWG# 11010-28524**
CKD BY: JAI **B**

METAL-ERA
Roof Edge Solutions

ANCHOR-TITE DRIP EDGE ANGLED

ANCHOR-TITE DRIP EDGE ANGLED 3

FM
APPROVED

ANCHOR-TITE CANTED FOR USE WITH ELIMINAILER® T

5.2", 5.5" FLANGE ELIMINAILER VERSION
FOR USE WITH METAL DECK

NOTES:
① FASCIA COVER PROVIDED WITH ¾\"/>

ANCHOR-TITE CANTED DIMENSIONS

PRODUCT ID. NO.	H DIM	COVERAGE
<input type="checkbox"/> T-AEFC-100	10"	8"

CANTED COVER MATERIAL:
☐ 22 GA. GALVANIZED STEEL
☐ .050\"/>

COLOR: _____ **FINISH:** _____

QUANTITIES:
_____ LINEAL FEET 12\"/>

PROJECT: _____
ARCHITECT: _____
ROOFING CONTRACTOR: _____
REPRESENTATIVE/DISTRIBUTOR: _____

Corporate Offices, Manufacturing
1600 Airport Road; Waukesha, WI 53188
Phone: 800-558-2162
Fax: 800-373-9156
www.metalera.com
DATE: 08/29/18 **SHT.#** ____ **OF** ____
DRN BY: JJC **DWG# 11010-29088**
CKD BY: SAK **B**

METAL-ERA
Roof Edge Solutions

FASCIA WITH ELIMINAILER DETAIL

FASCIA WITH ELIMINAILER DETAIL 1

1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. 5. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS ARE TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION. 6. AS-BUILT CONDITIONS SHOULD BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.

2. (F.O.S.), UNLESS OTHERWISE NOTED. 3. ALL DIMENSIONS SHOULD BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.

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Monarch Bay Estates

MONARCH BAY DRIVE

DANA POINT, CA 92629

MONARCH BAY HOA

1700

06/21/21

DATE

1

PERMIT SUBMITTAL

FL

BY

DISCRIPTION

REVISION SCHEDULE

LICENSED ARCHITECT

MICHAEL FOX

8-31-21

STATE OF CALIFORNIA

Sheet Title

ROOF DETAILS

Sheet Number

A-505

GEOLOGY
Limestone

BEST USE

Exterior Walls of Buildings and Fireplaces Stone Shall be Mortared In

WEIGHT CALCULATOR PER SQUARE FOOT OF FLATS AND LINEAL FOOT OF CORNERS

14.9 Lbs Average Per Sf

19.1 Lbs Average Per Lf

QUANTITY PER PALLET/CRATE

Full Bed Veneer: 4,000 Lbs
Thin Veneer: 150 Sf (2,200-2,300 Lbs)
200 (3,000-3,100)



TUNDRA CREAM Rubble

FULL VENEER

Common Coverage
Standard Joint
40 Square Feet / Ton

Dry Stack
30 Sf / Ton

Overgrout
50 Sf / Ton

DIMENSIONS

Random Sizes: 3"-10"
Thickness: 3"-5"

TYPICAL CHARACTERISTICS

Chopped All Sides
Random Irregular Shapes

STANDARD SIZE TOLERANCE

Thickness: 3"-5.5"

SHIPPING DETAILS: FULL TRUCK QUANTITY

Flatbed: 12-13 Pallets
Dry Van: 12-13 Pallets
Rail Container: 12-13 Pallets

THIN VENEER

Common Coverage
Standard Joint
200 Square Feet

Per Crate
Dry Stack
180 Sf / Ton

Overgrout
220 Sf / Ton

DIMENSIONS

Random Sizes: 3"-10"
Thickness: 1"-1.5"
Corner Returns: 3"-5"

TYPICAL PIECE

Chopped All Sides
Random Irregular Shapes

STANDARD SIZE TOLERANCE

Thickness: 1"-1.5"

SHIPPING DETAILS: FULL TRUCK QUANTITY

Flatbed: 21-22 Pallets / 17-18 Crates
Dry Van: 19-20 Pallets / 15-16 Crates
Rail Container: 18-19 Pallets / 14-15 Crates

ASTM TESTING

Compressive Strength (psi) 11,580
Flexural Strength (g) 1,170
Freeze/Thaw Loss (%) 0.08
Average 48-hr Absorption (%) 0.63



EVALUATION REPORT

Number: 199

Originally Issued: 10/08/2010 Revised: 09/29/2020 Valid Through: 09/30/2021

VELUX AMERICA, LLC.
P.O. Box 5001
Greenwood, South Carolina 29648-5001
(864) 941-4828
www.veluxusa.com

DECK MOUNT GLASS-GLAZED UNIT SKYLIGHTS
CURB MOUNT GLASS-GLAZED UNIT SKYLIGHTS
TUBULAR DAYLIGHTING DEVICES

CSI Section:
08 62 00 Unit Skylights

1.0 RECOGNITION

VELUX America, LLC's Deck Mount Glass-Glazed Unit Skylights, Curb Mount Glass-Glazed Unit Skylights and Tubular Daylighting Devices recognized in this report have been evaluated for use as glazed skylights. The structural performance, air and water tightness, operating forces, durability and thermal and optical performance properties of the Deck Mount Glass-Glazed Unit Skylights, Curb Mount Glass-Glazed Unit Skylights and Tubular Daylighting Devices were evaluated for compliance with the following codes:

- 2018 and 2015 International Building Code® (IBC)
- 2018 and 2015 International Residential Code® (IRC)
- 2018 and 2015 International Energy Conservation Code® (IECC)
- 2016 California Building Code (CBC) – attached Supplement

2.0 LIMITATIONS

Use of the VELUX Deck Mount Glass-Glazed Unit Skylights, Curb Mount Glass-Glazed Unit Skylights and Tubular Daylighting Devices recognized in this report is subject to the following limitations:

2.1 VELUX Deck Mount Glass-Glazed Unit Skylights, Curb Mount Glass-Glazed Unit Skylights and Tubular Daylighting Devices shall be installed in accordance with the applicable code, the manufacturer's instructions, and this report. In the event of a conflict, the more restrictive governs.

2.2 Deck and curb mount glass-glazed unit skylights shall not be used in Type I or II construction, over acid fume-containing spaces, in wind-borne debris regions or where unusual loading is expected.

2.3 Deck and curb mount glass-glazed unit skylights that are set at an angle of less than 45 degrees from the horizontal shall be mounted at least 4 inches (102 mm) above the plane of the roof except for Group R-3 occupancies with a minimum roof slope of 3-units vertical in 12-units horizontal.

2.4 Light transmitting plastic of tubular daylighting devices shall be mounted at least 4 inches (102 mm) above the plane of the roof except 1) for Group R-3 occupancies having a minimum roof slope of 3-units vertical in 12-units horizontal; or 2) for buildings where a non-classified roof covering is permitted.

2.5 Aggregate area, separation and location of tubular daylighting devices shall be in accordance with the 2018 and 2015 IBC Sections 2606.7, 2610.5, 2610.6, 2610.7, 2610.8; and the 2018 IBC Section 803.1.2 (2015 IBC Section 803.1.1) for those occupancies within the scope of the IBC.

2.6 Installation of skylights and tubular daylighting devices shall be in accordance with IRC Section R308.6 for those occupancies within the scope of the IRC.

2.7 Edges of light transmitting plastic of tubular daylighting devices shall be protected by metal or noncombustible edge material except where non-classified roof coverings are permitted.

2.8 Electric motor-driven sash operators, in VSE, VSS, VCE and VCS skylights shall comply with the applicable electrical code requirements and are subject to approval of the building official.

2.9 VELUX Deck Mount Glass-Glazed Unit Skylights, Curb Mount Glass-Glazed Unit Skylights and Tubular Daylighting Devices recognized in this report are produced by VELUX America, LLC in Greenwood, SC.

3.0 DECK MOUNT GLASS-GLAZED UNIT SKYLIGHTS

3.1 USES: VELUX® FS, VS, VSE and VSS No Leak Skylights™ are unit skylights complying with IBC Section 2405.5 that provide natural light and views into the interior of building spaces. The skylights are intended for use on building roofs sloped from 3-units vertical in 12 units from the horizontal (25-percent slope) plane to 85 degrees from the horizontal plane. Each unit contains an integral supporting frame with continuous mounting flange intended for direct attachment to roofing substrate. VS, VSE and VSS skylights provide natural ventilation via an operable top-hinged sash. FS units are fixed. The glass is continuously supported on all four sides.

The product described in this Uniform Evaluation Service (UES) Report has been evaluated as an alternative material, design or method of construction in order to satisfy and comply with the intent of the provision of the code, as noted in this report, and for at least equivalence to that prescribed in the code in quality, strength, effectiveness, fire resistance, durability and safety, as applicable in accordance with IBC Section 104.11. This document shall only be reproduced in its entirety.
Copyright © 2020 by International Association of Plumbing and Mechanical Officials. All rights reserved. Printed in the United States. Ph: 1-877-4IESRPT • Fax: 909.472.4171
web: www.uniform-es.org • 4755 East Philadelphia Street, Ontario, California 91761-2816 – USA

Page 1 of 18



VELUX®
VEL-N-20-00030-00002
Skylight Model FCM (04)
Tempered over Laminated Heat-Strengthened
0.02 LoE3, Argon-filled IGU

Canada
energystar.gc.ca

U.S. / É.U.
energystar.gov

Canada
energystar.gc.ca

U.S. / É.U.
energystar.gov

ENERGY PERFORMANCE RATINGS
ÉVALUATION DU RENDEMENT ÉNERGETIQUE

U-Factor
Valeur-U
(U.S./I-P)
0.48
(Metric/SI)
2.73

Solar Heat Gain Coefficient
Coefficient de gain chaleur solaire
0.27

ADDITIONAL PERFORMANCE RATINGS
ÉVALUATION SUPPLÉMENTAIRE DU RENDEMENT

Visible Transmittance
Transmission Visible
0.64

Air Leakage
Infiltration d'Air
(U.S./I-P)
(Metric/SI)
-

ENERGY STAR Certified in Highlighted Regions
Certifié ENERGY STAR dans les régions en surbrillance

TDI Product Evaluation
SK-03
Florida Prod. Approval
13393

VELUX Model
FCM 4646 0004
Licensee: 426-H-701

WDMA
Hallmark Certified
www.wdma.com

STANDARD

RATING

AAMA/NWMA/CSA
101A.S.20446-11

Size Tested: 1308 x 1308 mm (51 x 51 in)
DP = 11590 Pa (250 psf)

AAMA/NWMA/CSA
101A.S.20440-08

Size Tested: 1308 x 1308 mm (51 x 51 in)
DP = 8380 Pa (175 psf)

CSA A44401-09

DP: +8390/-4309 Pa (+175/-90 psf)
Water Test Pressure = 720 Pa (15 psf)
Canadian Air Infiltration/Entrée - Passed Level

KEEP LABEL FOR CODE INSPECTION AND HOME RECORDS

www.veluxusa.com
1-800-88-VELUX
VELUX America Inc.
PO Box 5001
Greenwood, SC 29648

VELUX®

Monarch Bay Estates

PROJECT ADDRESS

MONARCH BAY DRIVE
DANA POINT, CA 92629

CLIENT

MONARCH BAY HOA

DRAWING SET

AGENCY

foxlin architecture design consulting

392 camino de estrella 949 325 3001 phone
san clemente, 949 203 3339 fax
california 92672
foxlin.com web
info@foxlin.com email

Job # 1700
Size 24" x 36"
Date 8/25/2021 10:28:55 AM
Revision # 1

Permit Submittal 01

Sheet Title

MANUFACTURER DETAILS

Sheet Number

A-508

1 Permit Submittal 01
DISCRIPTION
FL PERMIT SUBMITTAL
BY
ISSUED TO
REVISION SCHEDULE
DATE
06/21/21
1700

GENERAL NOTES

1. DO NOT SCALE DRAWINGS
2. ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.), UNLESS OTHERWISE NOTED.
3. AS-BUILT CONDITIONS SHOULD BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.
4. DRAWINGS REPRESENT DESIGN INTENT ONLY. CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS.
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Monarch Bay Estates

MONARCH BAY DRIVE

DANA POINT, CA 92629

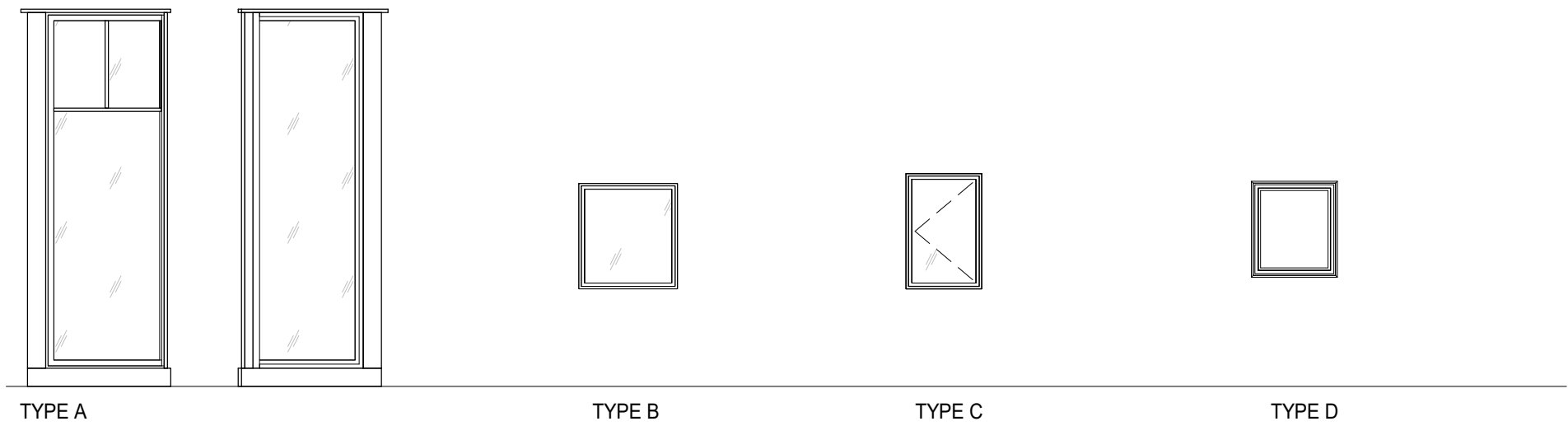
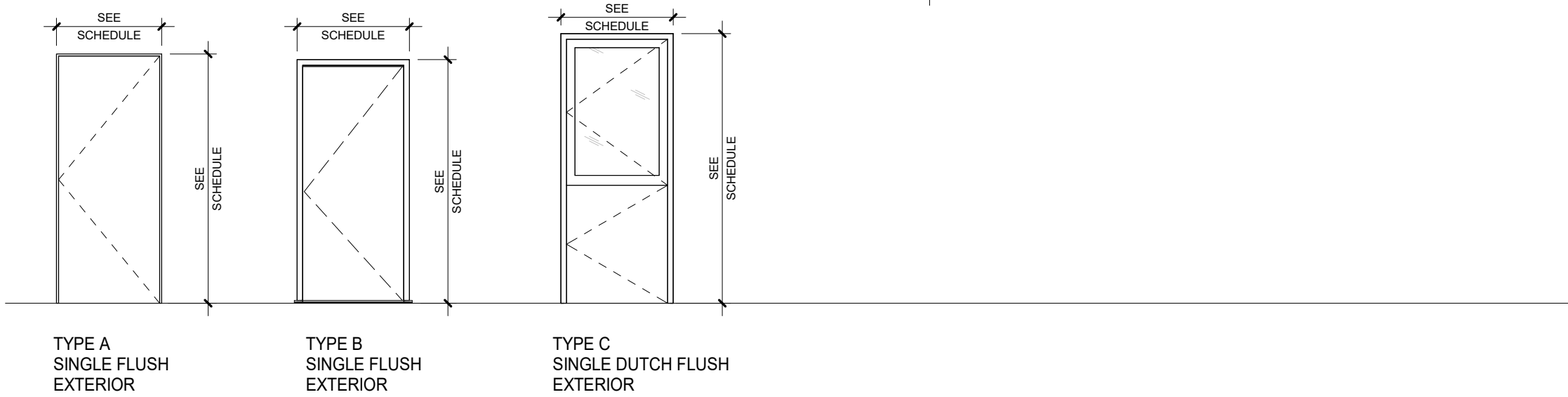
MONARCH BAY HOA

A-801 // DOOR & WINDOW SCHEDULE // ISSUED-X

8/25/2021 10:28:57 AM

DOOR SCHEDULE							
LOCATION	DOOR TYPE	TYPE	TYPE COMMENTS	COMMENTS	HEIGHT	IN/EX	HARDWARE
GH-LEVEL 01							
GUARDHOUSE	A	101.1	SWING		8' - 0"	INTERIOR	Pella Seattle - Matte Black
GUARDHOUSE	B	100.3	SWING		8' - 0"	EXTERIOR	Pella Seattle - Matte Black
GUARDHOUSE	C	100.2	DUTCH SWING	TEMPERED	8' - 0"	EXTERIOR	Sierra Pacific Dallas Series - Matte Black
GUARDHOUSE	C	100.1	DUTCH SWING	TEMPERED	8' - 0"	EXTERIOR	Sierra Pacific Dallas Series - Matte Black
PAVILLION-LEVEL 01 F.F.							
PAVILLION	B	(E)	SWING		7' - 0"	EXTERIOR	Pella Seattle - Matte Black
PAVILLION	B	(E)	SWING		7' - 0"	EXTERIOR	Pella Seattle - Matte Black

WINDOW SCHEDULE - PROPOSED							
LOCATION	TYPE	NO.	TYPE COMMENTS	WIDTH	HEIGHT	SILL	Phase Created
GH-LEVEL 01							
GUARDHOUSE	A	100.A	FIXED/CASEMENT	3' - 0"	9' - 0"	2' - 6"	NEW
GUARDHOUSE	B	100.B	FIXED	7' - 5"	9' - 0"	3' - 0"	NEW
GUARDHOUSE	A	100.C	FIXED/CASEMENT	3' - 0"	9' - 0"	2' - 6"	NEW
GUARDHOUSE	B	100.D	FIXED	3' - 0"	3' - 0"	13' - 8"	NEW
GUARDHOUSE	B	100.E	FIXED	7' - 5"	3' - 0"	14' - 2"	NEW
GUARDHOUSE	B	100.F	FIXED	3' - 0"	3' - 0"	13' - 8"	NEW
GUARDHOUSE	C	102.A	CASEMENT	2' - 6"	3' - 9"	3' - 6"	NEW
PAVILLION-LEVEL 02							
PAVILLION	D	103.A	SKYLIGHT	2' - 4"	3' - 2"		NEW
PAVILLION	D	103.B	SKYLIGHT	2' - 4"	3' - 2"		NEW



DOORS

WINDOW ELEVATIONS

DOOR SCHEDULE ANNOTATION GUIDE

F FLUSH DOOR
G GLASS
S SLIDER
SW SWING
D DUTCH DOOR

- ALL GLASS LITES IN DOORS AND SIDE LITES TO BE TEMPERED.
- SEE PLAN FOR DOOR SWING DIRECTION. DOOR ELEVATIONS MAY BE MIRRORED.
- EACH UNIT OF TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED BY THE MANUFACTURER. THE IDENTIFICATION SHALL BE ETCHED OR CERAMIC FIRED ON THE GLASS AND BE VISIBLE WHEN THE UNIT IS GLAZED.
- SAFETY GLAZING IS REQUIRED AT ALL EXTERIOR LOCATIONS.
- ALL DIMENSIONS ARE TO ROUGH OPENING UNLESS OTHERWISE NOTED.
- ALL MANUFACTURED FENESTRATION PRODUCTS (GLASS DOORS AND/OR WINDOWS) ARE REQUIRED TO MEET THE FOLLOWING CONDITIONS:
 - BE CERTIFIED AS TO THEIR OVERALL U-VALUES AS TESTED IN ACCORDANCE WITH THE NFRC PROCEDURE, OR A DEFAULT TABLE.
 - HAVE A TEMPORARY LABEL, NOT TO BE REMOVED BEFORE INSPECTION BY THE BUILDING DEPARTMENT, LISTING THE CERTIFIED U-VALUE.
 - HAVE A PERMANENT LABEL LISTING THE U-VALUE, CERTIFYING ORGANIZATION AND RATING PROCEDURES.

- EMERGENCY DOORS OR WINDOWS SHALL BE OPENABLE FROM THE INSIDE TO PROVIDE A FULL, CLEAR OPENING WITHOUT THE USE OF ANY KEYS OR TOOLS.
- WOOD FLUSH-TYPE DOORS SHALL BE 1 3/8" THICK MIN. WITH SOLID CORE CONSTRUCTION. DOOR STOPS OR IN-SWINGING DOORS SHALL BE OF ONE-PIECE CONSTRUCTION WITH THE JAMB OR JOINED BY RABBIT TO THE JAMB.
- ALL PIN-TYPE DOOR HINGES ACCESSIBLE. FROM OUTSIDE SHALL HAVE NON-REMOVABLE HINGE PINS. HINGES SHALL HAVE MIN. 1/4" DIA. STEEL JAMB STUD WITH 1" MIN. PROTECTION. THE STRIKE PLATE FOR THE LATCHES AND HOLDING DEVICES FOR PROJECTING DEAD BOLTS IN WOOD CONSTRUCTION SHALL BE SECURED TO THE JAMB AND THE WALL FRAMING WITH SCREWS NO LESS THAN 2 1/2" LONG.
- PROVIDE DEAD BOLTS WITH HARDENED INSERTS: DEADLOCKING LATCH WITH KEY-OPERATED LOCKS ON EXTERIOR LOCKS MUST BE OPENABLE FROM THE INSIDE WITHOUT KEY. SPECIAL KNOWLEDGE OR SPECIAL EFFORT.
- STRAIGHT DEAD BOLTS SHALL HAVE A MIN. OF 1" AND AN EMBEDMENT OF NOT LESS THAN 5/8" AND A HOOK-SHAPED OR AN EXPANDING LUG DEAD BOLT SHALL HAVE A MIN. THROW OF 3/4".
- GLAZED OPENINGS WITHIN 40" OF THE DOOR LOCK WHEN THE DOOR IS IN THE CLOSED POSITION, SHALL BE FULLY TEMPERED GLASS OR BURGLARY RESISTANT MATERIAL.
- SEE HARDWARE SCHEDULE IN SPECIFICATIONS. DOOR ELEVATIONS DO NOT REFLECT EXACT HARDWARE CONDITIONS.
- SAFETY GLAZING MUST BE PROVIDED AT HAZARDOUS LOCATIONS PER CBC 2406.4, INCLUDING, BUT NOT LIMITED TO, GLAZING WITHIN 18 INCHES OF A WALKING SURFACE. GLAZING IN DOORS, AND WINDOWS ADJACENT TO DOORS. REVISE THE DOOR AND WINDOW SCHEDULES AS NECESSARY TOSHOW COMPLIANCE.

DOOR NOTES

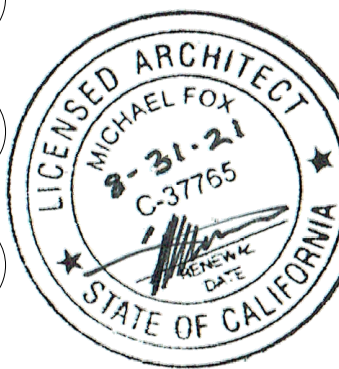
- WINDOWS TO BE OPERABLE AND CLEANED, U.O.N.
- EACH UNIT OF TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED BY THE MANUFACTURER. THE IDENTIFICATION SHALL BE ETCHED OR CERAMIC FIRED ON THE GLASS AND BE VISIBLE WHEN THE UNIT IS GLAZED.
- REFER TO ELEVATIONS FOR WINDOW OPENING DIRECTIONS
- THE EMERGENCY DOOR OR WINDOW SHALL BE OPENABLE FROM THE INSIDE TO PROVIDE A FULL, CLEAR OPENING WITHOUT THE USE OF ANY KEYS OR TOOLS.
- DOOR HARDWARE ARE OPERABLE WITH ONE HAND AND DO NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE HAND. CBC 11B-404.2.7 AND 11B-309.4
- DOOR THRESHOLDS, IF PROVIDED AT DOORWAYS, TO BE 1/2 INCH HIGH MAXIMUM. RAISED THRESHOLDS AND CHANGES IN LEVEL AT DOORWAYS SHALL COMPLY WITH CBC SECTION 11B-302 AND 11B-303. CBC 11B-404.2.5.
- DOOR OPENING FORCE IS 5-POUNDS MAXIMUM FOR INTERIOR DOORS PER CBC 11B-404.2.9.
- DOOR OPENING HARDWARE IS MOUNTED 34" TO 44" ABOVE THE FINISH FLOOR PER CBC 11B-404.2.7.
- LOWER 10 INCH OF THE DOOR SURFACE IS PROVIDED WITH A SMOOTH SURFACE FOR THE FULL WIDTH OF THE DOOR, AT THE PUSH SIDE OF THE DOOR PER CBC 11B-404.2.10.

WINDOW NOTES

GENERAL NOTES			
1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.	5. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.	6. DRAWINGS REPRESENT DESIGN INTENT ONLY. CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS.	
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Monarch Bay Estates	Monarch Bay Drive	Monarch Bay HOA	1700
---------------------	-------------------	-----------------	------

06/21/21	DATE		
1	Permit Submittal 01	FL	BY
#	DISCRPTION	BY	REVISION SCHEDULE



Monarch Bay Estates

PROJECT ADDRESS

MONARCH BAY DRIVE
DANA POINT, CA 92629

CLIENT

MONARCH BAY HOA

DRAWING SET

AGENCY



architecture
design
consulting

392 camino de estrella 949 325 3001 phone
san clemente, 949 203 3339 fax
california 92672
foxlin.com web
info@foxlin.com email

Job

1700

Size

24" x 36"

Revision

1

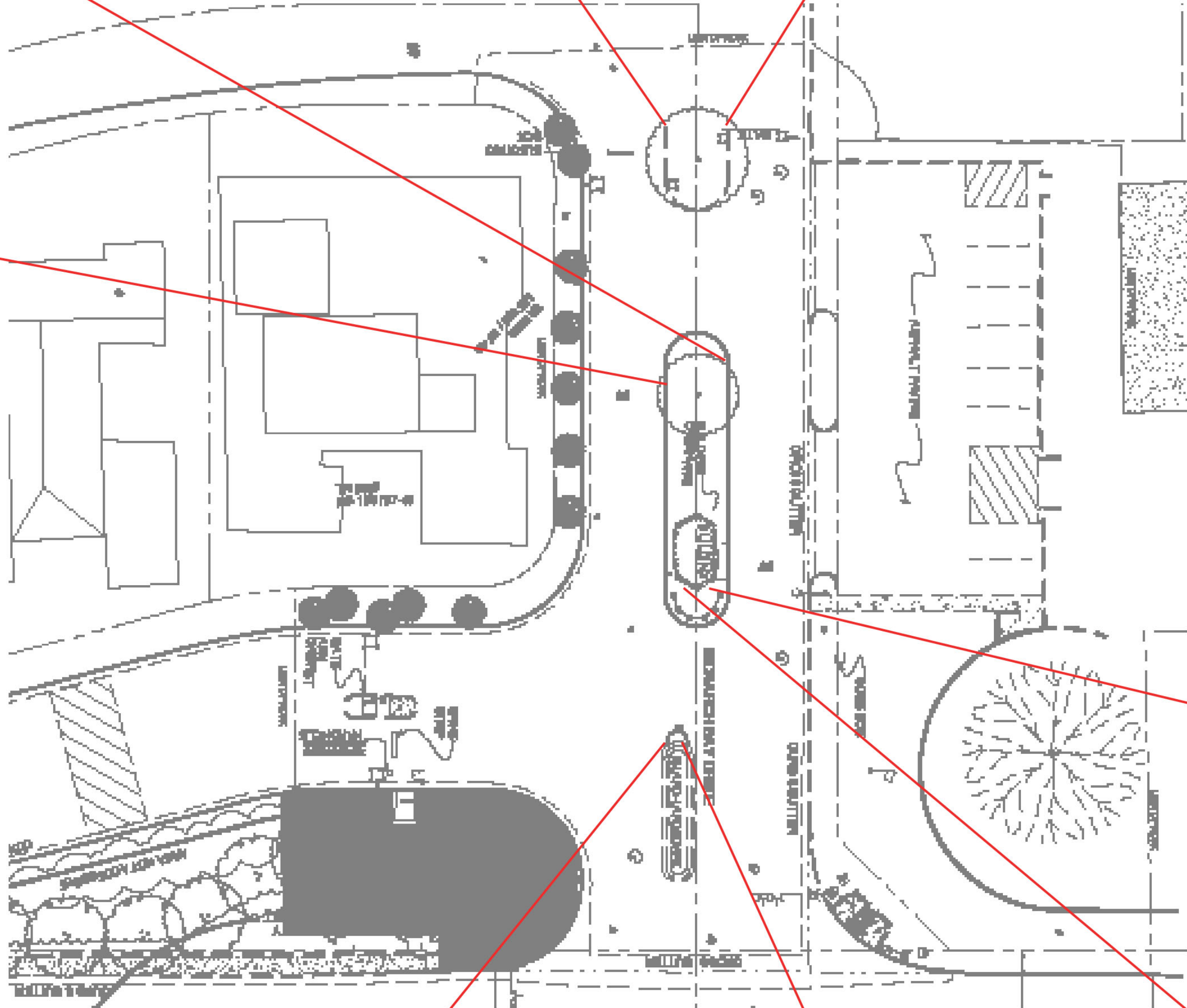
Permit Submittal 01

Sheet Title

DOOR & WINDOW SCHEDULE

Sheet Number

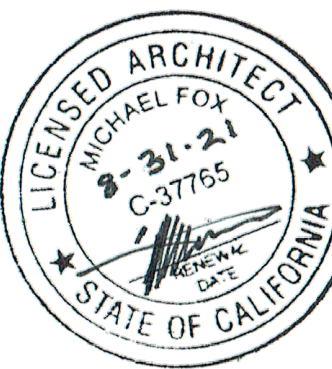
A-801



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5. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION. 6. DRAWINGS REPRESENT DESIGN INTENT ONLY. THE CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS.

Monarch Bay Estates
MONARCH BAY DRIVE DANA POINT, CA 92629
MONARCH BAY HOA
1700

1	Permit Submittal 01	FL	PERMIT SUBMITTAL	06/21/21
C	Coastal Submittal 03	FL	COASTAL SUBMITTAL	02/09/21
#	DISCRIPTION	BY	ISSUED TO	DATE
			REVISION SCHEDULE	



Monarch Bay Estates

PROJECT ADDRESS
MONARCH BAY DRIVE
DANA POINT, CA 92629

CLIENT
MONARCH BAY HOA

DRAWING SET
AGENCY

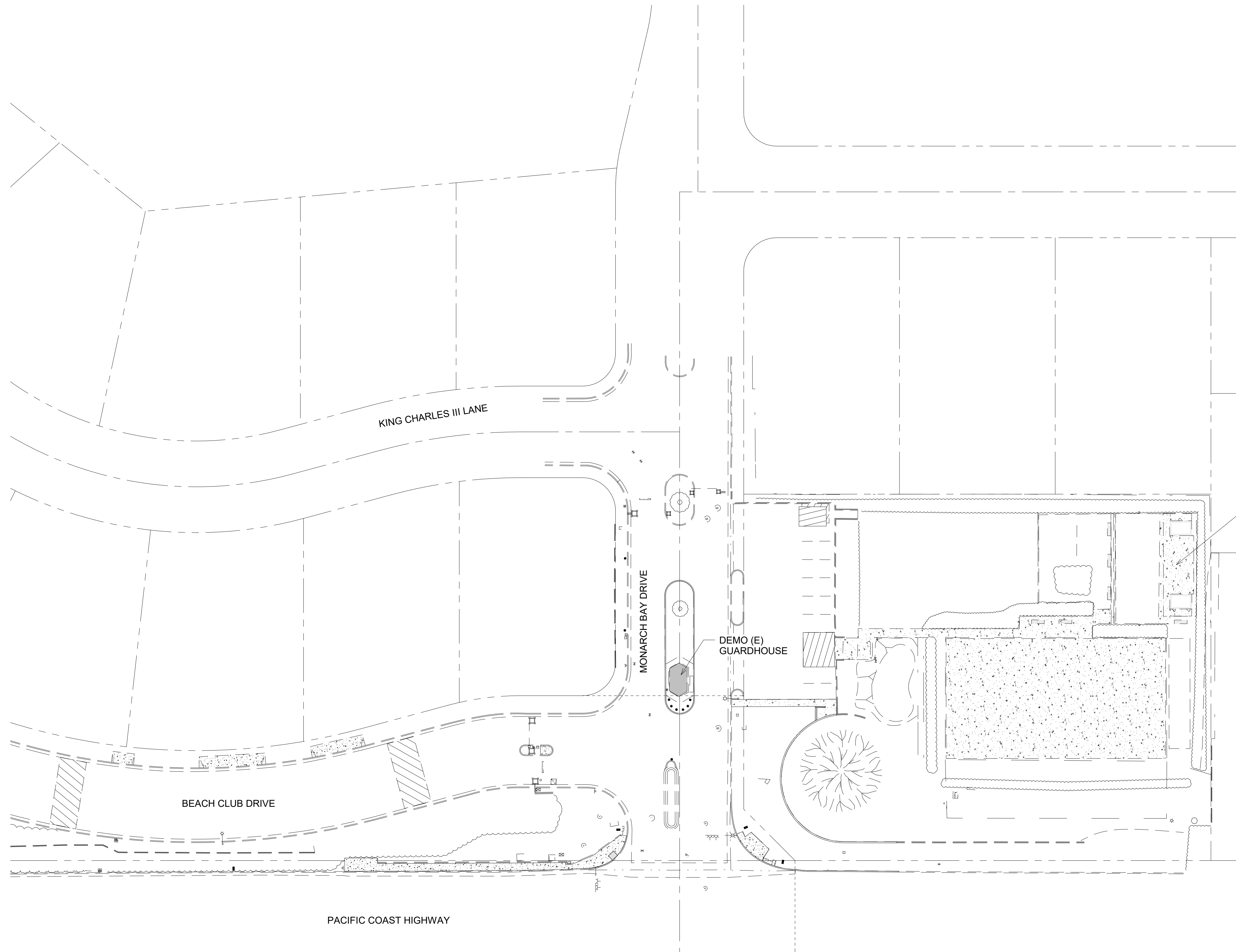


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foxlin.com web
info@foxlin.com email

Date	8/25/2021 10:29:01 AM	Job #	1700	Size	24" x 36"	Revision #	1	Permit Submittal 01
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Sheet Title
EXISTING CONDITION - GUARDHOUSE

Sheet Number
A.A-100



(E) PAVILION TO RENOVATE.
SEE A.B-100 FOR DETAILED
PAVILLION DEMO PLAN

1. ALL NOTES LABELED *NOT IN PERMIT* (NIP) ARE NOT PART OF THIS APPLICATION. THESE ARE CARRIED OVER FROM THE RHODES CDP.
2. SOILS EXCAVATION, RECOMPACTION, AND GRADING TO FOLLOW PARAMETERS STATED IN GEOLOGICAL REPORT/UPDATE PREPARED BY GEOSOLS, INC. DATED APRIL 16, 2010.
3. ALL NEW GRADED SLOPES SHALL BE NO STEEPER THAN 2H:1V
4. ALL SURFACE WATER MUST DRAIN AWAY FROM BUILDING, A MINIMUM OF 5% WITHIN FIRST 10' HORIZONTAL (2% FOR IMPERVIOUS SURFACES).
5. ALL LOOSE FOUNDATION EXCAVATION MATERIAL SHALL BE REMOVED PRIOR TO COMMENCEMENT OF FRAMING. SLOPES DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE RESTORED.
6. ALL RETAINING WALLS SHALL BE PROVIDED WITH A SUBDRAIN SYSTEM TO PREVENT POSSIBLE HYDROSTATIC PRESSURE BEHIND THE WALL.
7. ALL ROOF AND PAD DRAINAGE SHALL BE CONDUCTED TO THE STREET IN AN ACCEPTABLE MANNER. IF WATER SHALL BE DISPERSED ON TO DESCENDING SLOPES, ACQUIRE SPECIFIC APPROVAL FROM THE GRADING SECTION AND THE CONSULTING GEOLOGIST AND/OR SOIL ENGINEER.
8. ALL DECK DRAINAGE SHALL BE COLLECTED AND CONDUCTED TO AN APPROVED LOCATION IN A NON-EROSIVE DEVICE.
9. CONTRACTOR TO REVIEW BOTH PROPOSED SITE DRAINAGE CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES OR CONDITIONS THAT DO NOT ALLOW FOR POSITIVE DRAINAGE AWAY FROM BUILDING AND OTHER STRUCTURES. DO NOT COMMENCE SITE DRAINAGE WORK UNTIL ALL DISCREPANCIES AND CONDITIONS HAVE BEEN REVIEWED BY ARCHITECT.
10. ALL PIPING SHALL BE 4-INCH DIAMETER, U.O.N. NOTIFY ARCHITECT OF DISCREPANCIES OR UNDERSIZED PIPING SYSTEMS.
11. ALL SOLID DRAINAGE PIPING SHALL HAVE A MINIMUM SLOPE OF 2% UNLESS OTHERWISE NOTED.
12. 5% DRAINAGE AROUND/AWAY FROM BUILDING FOR A MINIMUM DISTANCE OF 10'. ALTERNATIVELY, SWALES WITH SLOPE OF 2% SHALL BE LOCATED WITHIN 10' OF BUILDING FOUNDATION.
13. ALL EXISTING TREES TO REMAIN, UNLESS OTHERWISE NOTED. PROTECT EXISTING TREES DURING ALL CONSTRUCTION OPERATIONS, AS NEEDED.
14. ARCHITECT TO VERIFY ALL DRAIN LOCATIONS PRIOR TO THEIR INSTALLATION.
15. A COPY OF THE CONSTRUCTION DOCUMENTS OR A COMPARABLE DOCUMENT INDICATING THE INFORMATION FROM E
16. THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE
17. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.

SITE LEGEND

- P.L. PROPERTY LINE
- SETBACK
- /// BUILDING FOOTPRINT
- ⊙ TREE / FOLIAGE
- HB HOSE BIB
- METAL FENCE
- WOOD FENCE
- ⊗ LOCATION OF UTILITY STUB-OUTS AND CLEAN-OUTS
- (X)-(X)-(X) EXISTING UTILITIES
- x-x-x PROPOSED UTILITIES
- + ELVATION

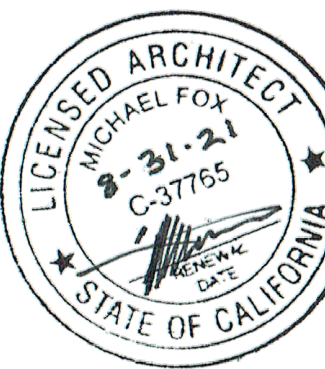
NOTE: REFER TO LANDSCAPE DRAWINGS FOR LANDSCAPE AND HARDSCAPE DEMO PLAN

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GENERAL NOTES

Monarch Bay Estates	12/01/20
MONARCH BAY DRIVE	08/19/20
DANA POINT, CA 92629	06/21/21
MONARCH BAY HOA	02/09/21
1700	DATE

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REVISION SCHEDULE			



Monarch Bay Estates

PROJECT ADDRESS

MONARCH BAY DRIVE
DANA POINT, CA 92629

CLIENT

MONARCH BAY HOA

DRAWING SET

AGENCY



architecture
design
consulting

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california 92672
foxlin.com web
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DEMO PLAN

1" = 30'-0"

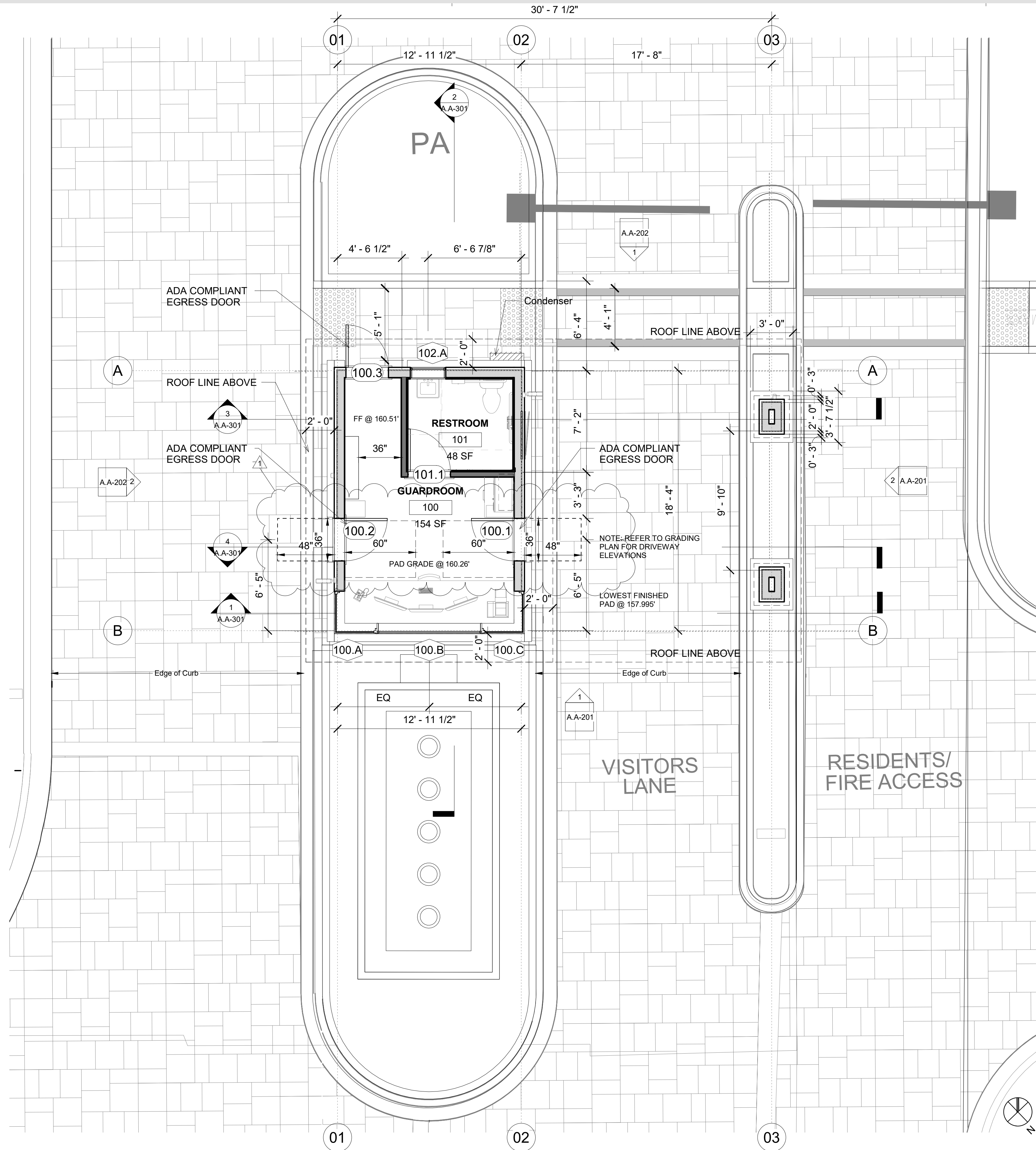
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Sheet Title

DEMO PLAN - GUARDHOUSE

Sheet Number

A.A-101



RCP LEGEND

DROP CEILING

2X4 WALL

2X6 WALL

OVERHEAD

CMU WALL

1. ALL DIMENSIONS ARE MEASURED FROM CENTERLINE OF THE FIXTURE.
2. ALL NON-DIMENSIONED FIXTURES ARE TO BE CENTERED IN THE CLEAR DIMENSION.
3. CEILING HEIGHTS, WHERE SHOWN, INDICATE CLEAR FINISH DIMENSIONS.
4. ALL NON-DIMENSIONED REGISTERS AND DIFFUSERS TO BE CENTERED IN THE CLEAR DIMENSION. VERIFY ALL REGISTER AND DIFFUSER LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
5. ALL CEILINGS SHALL BE GYPSUM BOARD, U.O.N.

TO STRUCTURE TO FINISH

1. ALL DOORS AND WINDOWS DIMENSIONED TO CENTERLINE OF CLEAR OPENING. ALL NON-DIMENSIONED WINDOWS TO BE CENTERED IN THE CLEAR OPENING. WHERE LOCATION OF WINDOWS AND DOORS ARE NOT DIMENSIONED, THEY SHALL BE PLACED 3' FROM F.O. FINISH OF ADJACENT WALL AS INDICATED ON DRAWINGS.
2. ALL CASEWORK DIMENSIONS TO FACE OF FINISH.
3. ALL INSULATION MATERIALS SHALL BE CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATION MATERIAL. DOORS AND WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACE SHALL BE FULL WEATHER-STRIPPED.
4. ALL DECK SURFACES SHALL BE SLOPED A MINIMUM OF 1/4" PER FOOT, U.O.N.
5. EXTERIOR DOORS ONLY TO OPEN OUTWARDS IF EXTERIOR DOOR LANDING IS NOT MORE THAN 0.5' LOWER THAN THE DOOR THRESHOLD.
6. MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED INDICATED COMPLIANCE WITH THE APPROPRIATE INFILTRATION STANDARDS. CAULK PLUMBING AND ELECTRICAL PENETRATIONS, ALL WINDOW AND DOOR FRAMES, BETWEEN WALL SOLEPLATES AND FLOORS, AND ALL OTHER OPENINGS IN THE ENVELOPE.
7. ALL EXTERIOR OPENINGS (AND OPENINGS BETWEEN HEATED AND UNHEATED AREAS) SHALL BE PROPERLY WEATHER-STRIPPED, CERTIFIED AND LABELED PROVIDE VINYL BEAD TYPE WEATHER STRIPPING AT THESE DOORS AND WINDOWS, ALL SIDES OF THE DOOR MUST BE WEATHERSTRIPPED, INCLUDING THE THRESHOLD.
8. CAULK AND SEAL OPENING IN BUILDING EXTERIOR 1/8" OR GREATER TO PREVENT AIR INFILTRATION.
9. WHERE REQUIRED, PROVIDE MINIMUM INSULATION OF R-13 AT EXTERIOR WALLS, AND R-30 IN ROOF AND CEILING AREAS.
10. PROVIDE WOOD BLOCKING AS REQUIRED AT ALL WALL BASE INSTALLATIONS. REFER TO DETAIL SHEETS FOR WALL BASE DETAILS.
11. PROVIDE ADDITIONAL PLYWOOD SHEATHING ON ALL WALLS TO RECEIVE PLYWOOD SHEAR-WALL SHEATHING TO COMPLETELY FLUSH OUT SUBSTRATE SURFACE(S). ADDITIONAL SHEATHING SHALL EXACTLY MATCH THE THICKNESS OF THE SHEAR-WALL SHEATHING REQUIRED. ADDITIONAL SHEATHING SHALL CONTINUE ALONG WALL UNTIL JUNCTION WITH A PERPENDICULAR WALL OR END OF WALL, OR AS DIRECTED BY DESIGNER.
12. SLOPE FRAMING OR PROVIDE DECKING/SUBSTRATE AS REQUIRED TO PROVIDE SLOPES AS INDICATED AND POSITIVE DRAINAGE TOWARDS DRAINS.
13. STUCCO OVER WOOD SHEATHING SHALL INCLUDE TWO LAYERS OF GRADE "D" BUILDING PAPER.
14. ALL WALL FRAMING SHALL BE 2X4 @ 16" O.C., MINIMUM, U.O.N.
15. ALL GYPSUM BOARD SHALL BE 5/8" THICK, TYPE "X", U.O.N.
16. ALL GYPSUM AND/OR PLASTER SURFACES SHALL BE SMOOTH, CONTINUOUS, FREE OF IMPERFECTIONS, AND WITH NO VISIBLE JOINTS, U.O.N.
17. SOUND PROOF ALL AREAS OF NEW CONSTRUCTION, INCLUDING ALL WALLS AND FLOORS AFFECTED BY RENOVATION.
18. PROVIDE COMBUSTION AIR FOR WATER HEATER W/1 12" FOR BOTTOM OF THE COMPARTMENT. ALL WALL FRAMING SHALL BE 2X4 @ 16" O.C., MINIMUM, U.O.N.
19. PROVIDE COMBUSTION AIR FOR WATER HEATER W/1 12" FOR BOTTOM OF THE COMPARTMENT.
20. ABS LINES TO BE PROVIDED FROM SINKS, SHOWERS, LAUNDRY, AND TUBS TO GREYWATER TANK, NO KITCHENS AND BARS TO DRAIN TO GREYWATER.
21. ALL PERIMETER WALLS SHALL BE 1-HR FIRE-RESISTANCE-RATED CONSTRUCTION.
22. SAFETY GLAZING MUST BE PROVIDED AT HAZARDOUS LOCATIONS PER CBC 2406.4, INCLUDING, BUT NOT LIMITED TO, GLAZING WITHIN 18 INCHES OF A WALKING SURFACE. GLAZING IN DOORS, AND WINDOWS ADJACENT TO DOORS, REVISE THE DOOR AND WINDOW SCHEDULES AS NECESSARY TO SHOW COMPLIANCE.
23. THE ACCESSIBLE ROUTE TO BE 5% MAXIMUM RUNNING SLOPE WITH 2% MAXIMUM CROSS SLOPE PER CBC 11B-402.2.
24. TOPS OF THE DINING SURFACES TO BE 28" TO 34" ABOVE THE FINISH FLOOR OR GROUND, CBC 11B-902.3.
25. PROVIDE TOE AND KNEE CLEARANCE UNDER THE ACCESSIBLE DINING SURFACE IN ACCORDANCE WITH CBC 11B-306 AND 11B-902.4.1. SEE CBC FIGURE 11B-306.3 FOR ILLUSTRATION.

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Monarch Bay Estates

MONARCH BAY DRIVE

DANA POINT, CA 92629

MONARCH BAY HOA

1700

12/01/20

08/19/20

06/21/21

02/09/21

B Coastal Submittal 02 FL COASTAL SUBMITTAL

A Coastal Submittal 01 FL COASTAL SUBMITTAL

1 Permit Submittal 01 FL PERMIT SUBMITTAL

C Coastal Submittal 03 FL COASTAL SUBMITTAL

#

DISCRIPTION

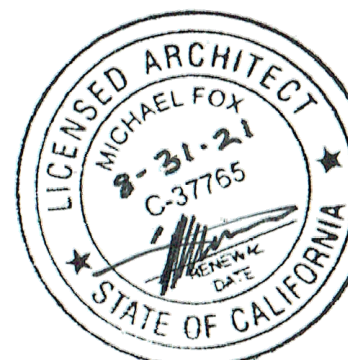
BY

ISSUED TO

DATE

REVISION

SCHEDULE



Monarch Bay Estates

PROJECT ADDRESS

MONARCH BAY DRIVE
DANA POINT, CA 92629

CLIENT

MONARCH BAY HOA

DRAWING SET

AGENCY

architecture
design
consulting392 camino de estrella 949 325 3001 phone
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california 92672
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LEVEL1- GUARDHOUSE

1/4" = 1'-0"

1

PLAN NOTES

Sheet Title

FLOOR PLAN - GUARDHOUSE

Sheet Number

A.A-110

Job #

1700

Size

24" x 36"

Revision #

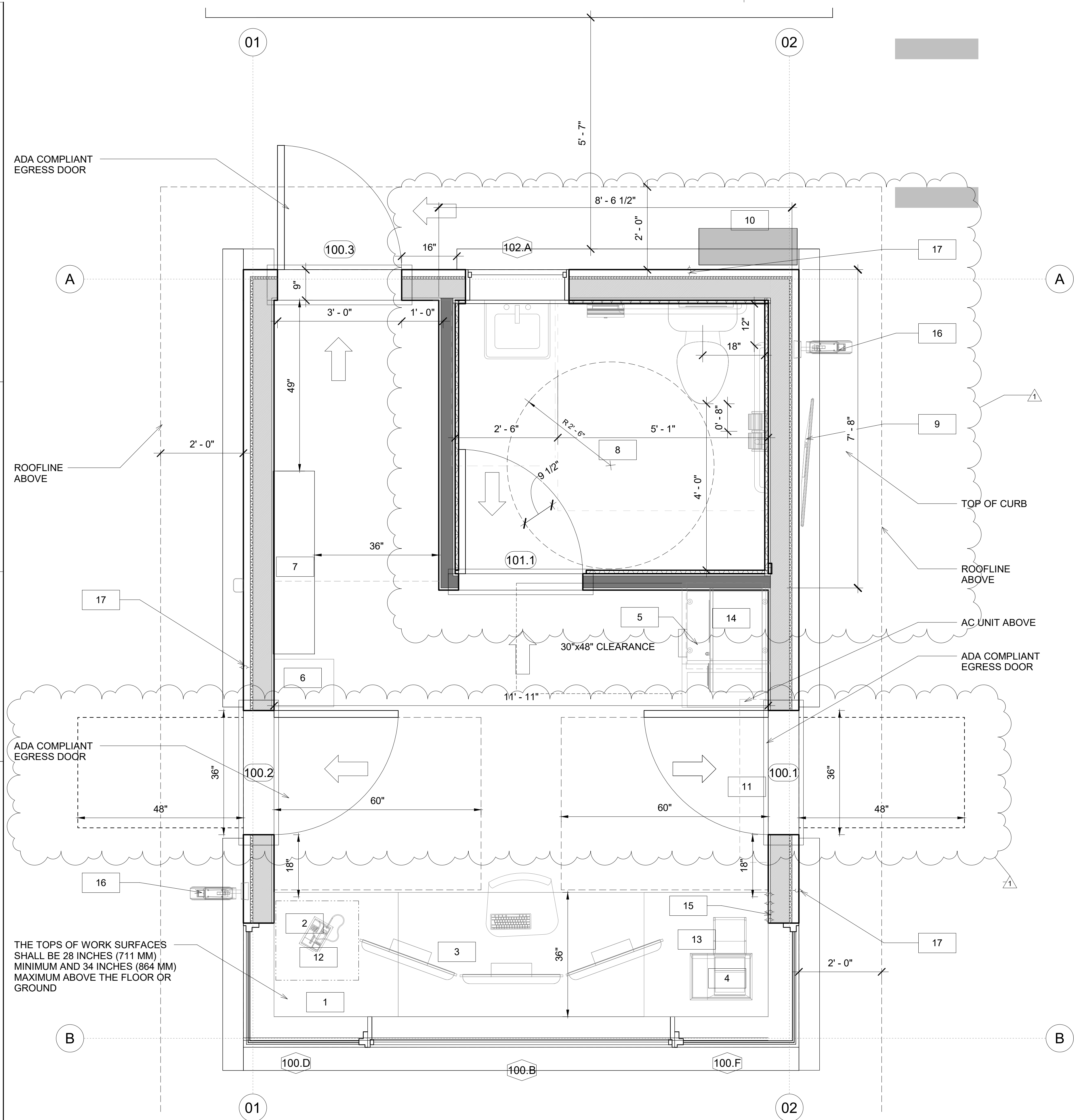
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Date

8/25/2021

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Permit Submittal 01



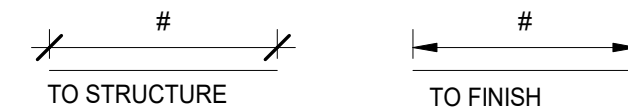
LEGEND

- 1 GUARD DESK WITH FILE AND SUPPLY DRAWER
- 2 TELEPHONE
- 3 40" MONITOR AND 24" MONITORS (X2)
- 4 ALL-IN-ONE PRINTER
- 5 COUNTER WITH MINI-FRIDGE BELOW
- 6 WATER DISPENSER
- 7 WALL STORAGE
- 8 ADA COMPLIANT RESTROOM
- 9 MONITOR FOR EVENT DISPLAYS
- 10 CONDENSER
- 11 WALL AIR CONDITIONER
- 12 DVR AND CPU CABINET
- 13 PRINTER FOR DWELLING LIVE PASSES
- 14 MICROWAVE
- 15 MANUAL GATE SWITCHES
- 16 SURVEILLANCE CAMERAS
- 17 ELECTRICAL OUTLET FOR HOLIDAY LIGHTS

RCP LEGEND

- DROP CEILING
- 2X4 WALL
- 2X6 WALL
- OVERHEAD
- CMU WALL

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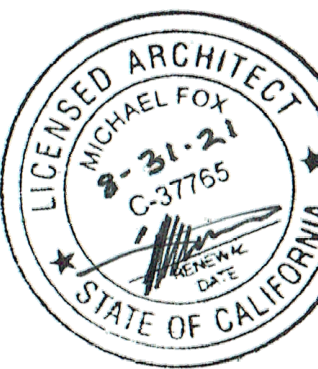
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# DISPOSITION	BY	ISSUED TO	DATE



LEVEL1_ENLARGED PLAN-GUARDHOUSE 3/4" = 1'-0" 1

Monarch Bay Estates

PROJECT ADDRESS

MONARCH BAY DRIVE
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DRAWING SET

AGENCY



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Job #

1700

Date

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Size

24" x 36"

Revision #

1

Revision #

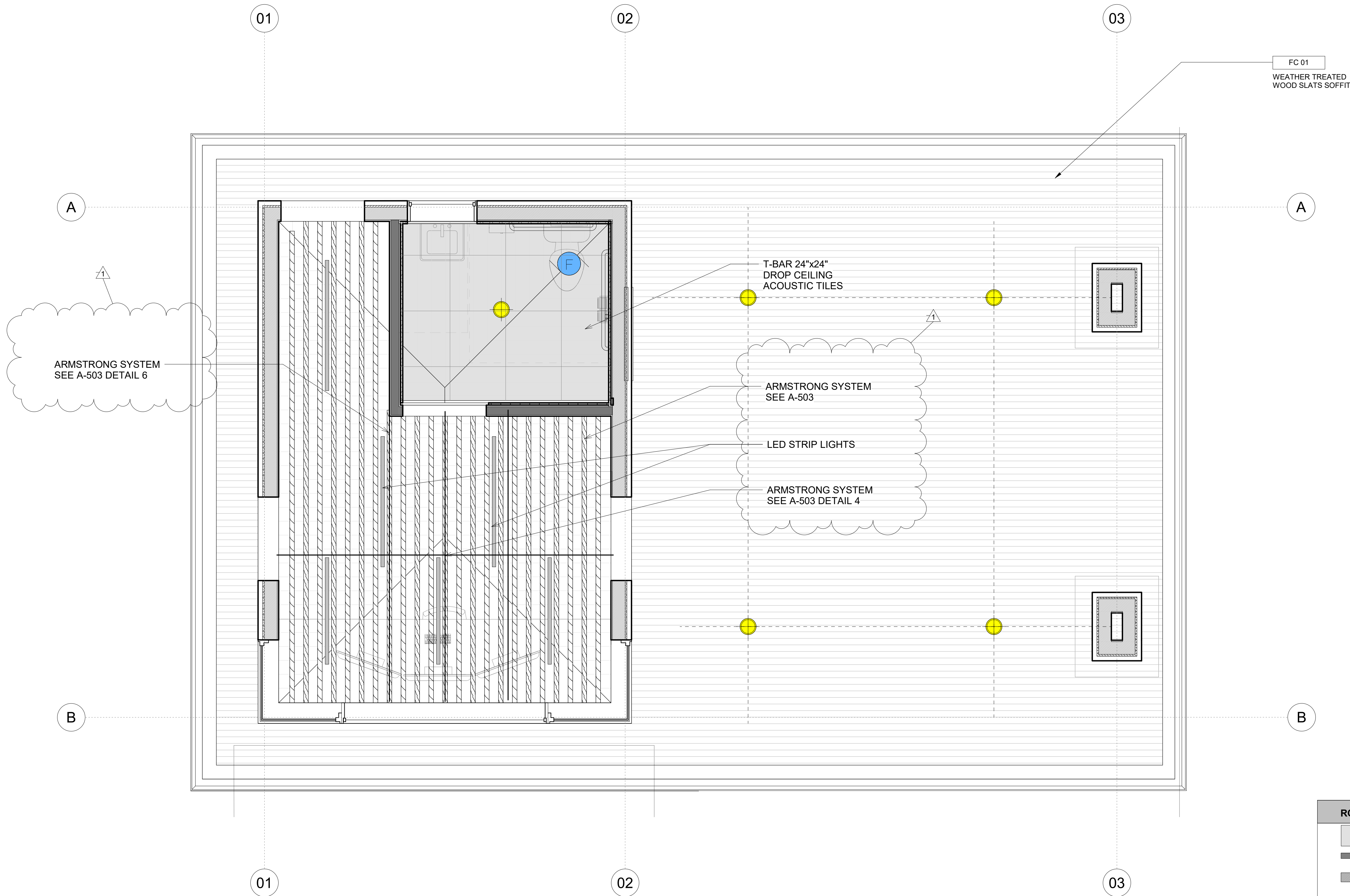
Permit Submittal 01

Sheet Title

ENLARGED FLOOR PLAN - GUARDHOUSE

Sheet Number

A.A-111



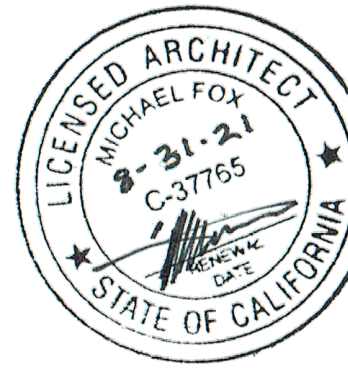
KEYNOTE LEGEND	
KEY	KEYNOTE TEXT
FC 01	WEATHER TREATED WOOD SLATS SOFFIT

ELECTRICAL KEY	
	220V OUTLET
	OUTLET (*GFCI, AFCI, HEIGHT IF NON-STANDARD)
	QUAD OUTLET
	400 VOLT VEHICLE OUTLET
	QUAD FLOOR OUTLET
	WATERPROOF GFCI OUTLET (30A, 100V/240V RV HOOKUP)
	SWITCH (3 = THREE WAY SWITCH) (4 = FOUR WAY SWITCH)
	DIMMER SWITCH (3 = THREE WAY SWITCH) (4 = FOUR WAY SWITCH)
	MOTION SWITCH
	ETHERNET/TELEPHONE
	EXHAUST FAN
	SMOKE DETECTOR
	CO DETECTOR
	GARBAGE DISPOSAL
	TV RECESSED OUTLET (*HEIGHT IF NON-STANDARD)
	SURFACE MOUNTED LIGHT
	RECESSED CEILING CAN
	LED STRIP FIXTURE
	RECESSED CEILING SPOT FIXTURE
	WATERPROOF RECESSED CEILING FIXTURE
	WALL MOUNTED FIXTURE
	RECESSED WALL FIXTURE
	PENDANT FIXTURE WITH PULL CHAIN
	PENDANT FIXTURE
	FAN/LIGHT COMBO FIXTURE
	CHANDELIER FIXTURE
	DUPLEX OUTLET
	DUPLEX FLOOR OUTLET

ELECTRICAL NOTES	
1.	SMOKE DETECTORS: SHALL BE WIRED TO THE BUILDING BE EQUIPPED WITH BATTERY BACKUP, AND EMIT A SIGNAL WHEN THE BATTERY IS LOW. SMOKE ALARMS SHALL BE INTERCONNECTED, SO THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE WITH OTHERS.
2.	CARBON MONOXIDE DETECTORS: SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. ALARMS SHALL BE HARDWIRED FROM THE BUILDING POWER SUPPLY AND EQUIPPED WITH BATTERY BACKUP. DETECTORS SHALL MEET U.L. 2034 AND/OR, NFPA 720 STANDARDS. 2019 CALIFORNIA RESIDENTIAL CODE CHAPTER 3 SEC. R315
3.	RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS SHALL NOT BE SCREW-BASED
4.	BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS: AT LEAST ONE LUMINAIRE IN EACH SPACE SHALL BE CONTROLLED BY A VACANCY SENSOR
5.	THE MAIN ELECTRICAL SERVICE PANEL SHALL NOT BE OF A TYPE WITH A CENTER-FED MAIN CIRCUIT BREAKER AND SHALL INCLUDE RESERVED SPACE ALLOWING FOR INSTALLATION OF DOUBLE-POLE CIRCUIT BREAKERS FOR A FUTURE SOLAR PHOTOVOLTAIC SYSTEM. SUCH RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER OR MAIN CIRCUIT BREAKER LOCATION. THE RESERVED SPACE SHALL BE PERMANENTLY AND VISIBLY MARKED AS "FOR FUTURE SOLAR PHOTOVOLTAIC"
6.	THE MAIN ELECTRICAL SERVICE PANEL SHALL INCLUDE RESERVED SPACE ALLOWING FOR INSTALLATION OF A CIRCUIT BREAKER FOR A FUTURE ELECTRIC VEHICLE CHARGING SYSTEM. THE RESERVED SPACE SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE"

RCP LEGEND	
	DROP CEILING
	2X4 WALL
	2X6 WALL
	OVERHEAD
	CMU WALL
1. ALL DIMENSIONS ARE MEASURED FROM CENTERLINE OF THE FIXTURE.	
2. ALL NON-DIMENSIONED FIXTURES ARE TO BE CENTERED IN THE CLEAR DIMENSION.	
3. CEILING HEIGHTS, WHERE SHOWN, INDICATE CLEAR FINISH DIMENSIONS.	
4. ALL NON-DIMENSIONED REGISTERS AND DIFFUSERS TO BE CENTERED IN THE CLEAR DIMENSION. VERIFY ALL REGISTER AND DIFFUSER LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.	
5. ALL CEILINGS SHALL BE GYPSUM BOARD, U.O.N.	

Level 1-RCP 1

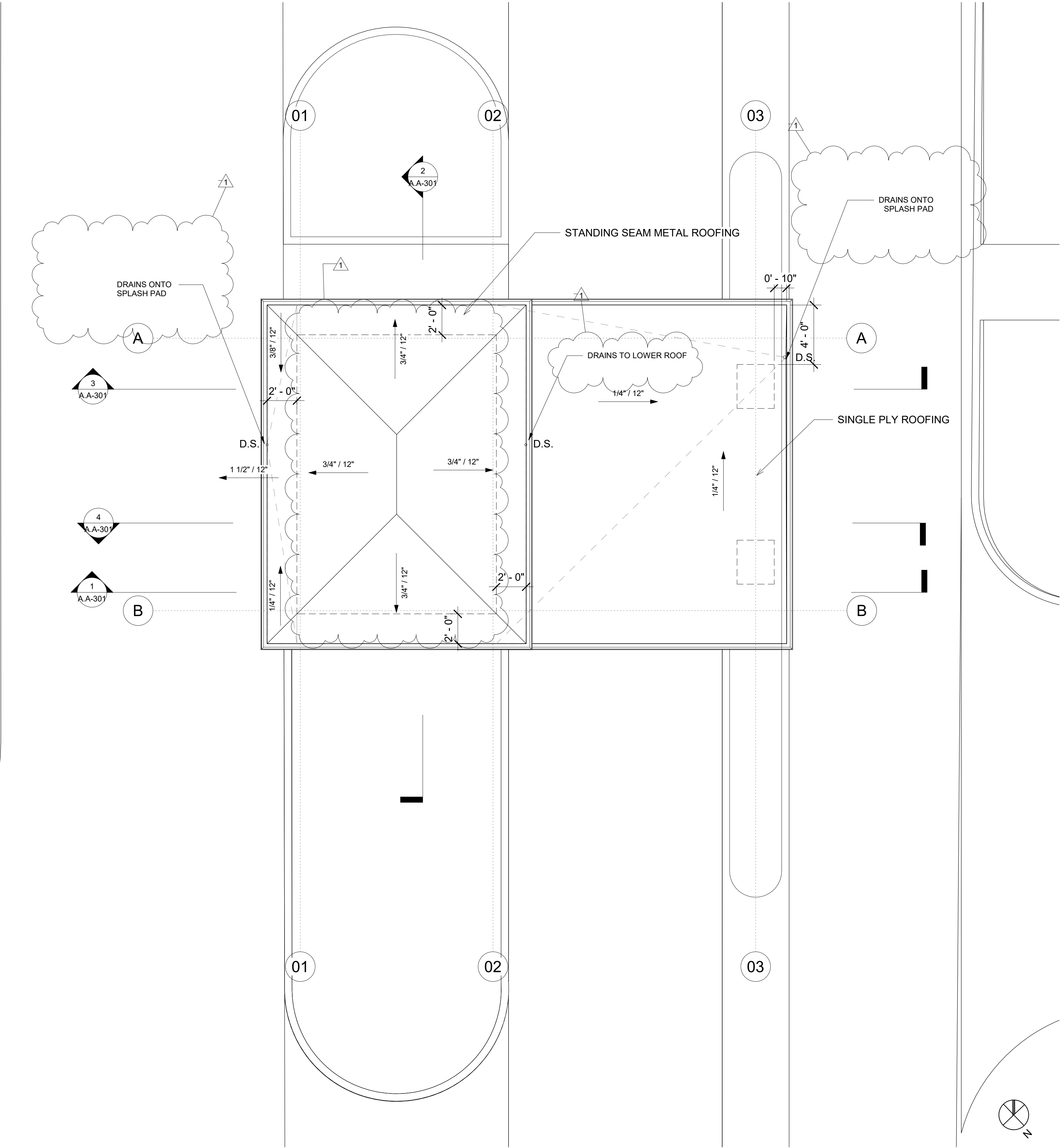


GENERAL NOTES	
1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.	5. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
2. ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.), UNLESS OTHERWISE NOTED.	6. AS-BUILT CONDITIONS SHOULD BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.
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Monarch Bay Estates
MONARCH BAY DRIVE
DANA POINT, CA 92629
MONARCH BAY HOA

1	Permit Submittal 01	FL	PERMIT SUBMITTAL	08/21/21	DATE
#	DESCRIPTION	BY	REVISION SCHEDULE		

NOTE: AREA OF ENCLOSED RAFTERS = 65SF.
PROVIDE 65/150=43 SF NET FREE VENTILATING AREA
VENTILATION TO TAKE PLACE AT ALL EAVES (CORAVENT S400)



KEYNOTE LEGEND

KEY	KEYNOTE TEXT
<div><div><div><div><div></div><div>#</div></div><div>TO STRUCTURE</div></div><div><div><div></div><div>#</div></div><div>TO FINISH</div></div></div><div><div><div>1.</div><div>ALL DOORS AND WINDOWS DIMENSIONED TO CENTERLINE OF CLEAR OPENING. ALL NON-DIMENSIONED WINDOWS TO BE CENTERED IN THE CLEAR OPENING. WHERE LOCATION OF WINDOWS AND DOORS ARE NOT DIMENSIONED, THEY SHALL BE PLACED 3' FROM F.O. FINISH OF ADJACENT WALL AS INDICATED ON DRAWINGS.</div></div><div><div>2.</div><div>ALL CASEWORK DIMENSIONS TO FACE OF FINISH.</div></div><div><div>3.</div><div>ALL INSULATION MATERIALS SHALL BE CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATION MATERIAL. DOORS AND WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACE SHALL BE FULL WEATHER-STRIPPED.</div></div><div><div>4.</div><div>ALL DECK SURFACES SHALL BE SLOPED A MINIMUM OF 1/4" PER FOOT, U.O.N.</div></div><div><div>5.</div><div>EXTERIOR DOORS ONLY TO OPEN OUTWARDS IF EXTERIOR DOOR LANDING IS NOT MORE THAN 0.5' LOWER THAN THE DOOR THRESHOLD.</div></div><div><div>6.</div><div>MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED INDICATED COMPLIANCE WITH THE APPROPRIATE INFILTRATION STANDARDS. CAULK PLUMBING AND ELECTRICAL PENETRATIONS, ALL WINDOW AND DOOR FRAMES, BETWEEN WALL SOLEPLATES AND FLOORS, AND ALL OTHER OPENINGS IN THE ENVELOPE.</div></div><div><div>7.</div><div>ALL EXTERIOR OPENINGS (AND OPENINGS BETWEEN HEATED AND UNHEATED AREAS) SHALL BE PROPERLY WEATHER-STRIPPED, CERTIFIED AND LABELED PROVIDE VINYL BEAD TYPE WEATHER STRIPPING AT THESE DOORS AND WINDOWS, ALL SIDES OF THE DOOR MUST BE WEATHERSTRIPPED, INCLUDING THE THRESHOLD.</div></div><div><div>8.</div><div>CAULK AND SEAL OPENING IN BUILDING EXTERIOR 1/8" OR GREATER TO PREVENT AIR INFILTRATION.</div></div><div><div>9.</div><div>WHERE REQUIRED, PROVIDE MINIMUM INSULATION OF R-13 AT EXTERIOR WALLS, AND R-30 IN ROOF AND CEILING AREAS.</div></div><div><div>10.</div><div>PROVIDE WOOD BLOCKING AS REQUIRED AT ALL WALL BASE INSTALLATIONS. REFER TO DETAIL SHEETS FOR WALL BASE DETAILS.</div></div><div><div>11.</div><div>PROVIDE ADDITIONAL PLYWOOD SHEATHING ON ALL WALLS TO RECEIVE PLYWOOD SHEAR-WALL SHEATHING TO COMPLETELY FLUSH OUT SUBSTRATE SURFACE(S). ADDITIONAL SHEATHING SHALL EXACTLY MATCH THE THICKNESS OF THE SHEAR-WALL SHEATHING REQUIRED. ADDITIONAL SHEATHING SHALL CONTINUE ALONG WALL UNTIL JUNCTION WITH A PERPENDICULAR WALL OR END OF WALL, OR AS DIRECTED BY DESIGNER.</div></div><div><div>12.</div><div>SLOPE FRAMING OR PROVIDE DECKING/SUBSTRATE AS REQUIRED TO PROVIDE SLOPES AS INDICATED AND POSITIVE DRAINAGE TOWARDS DRAINS.</div></div><div><div>13.</div><div>STUCCO OVER WOOD SHEATHING SHALL INCLUDE TWO LAYERS OF GRADE "D" BUILDING PAPER.</div></div><div><div>14.</div><div>ALL WALL FRAMING SHALL BE 2X4 @ 16" O.C., MINIMUM, U.O.N.</div></div><div><div>15.</div><div>ALL GYPSUM BOARD SHALL BE 5/8" THICK, TYPE "X", U.O.N.</div></div><div><div>16.</div><div>ALL GYPSUM AND/OR PLASTER SURFACES SHALL BE SMOOTH, CONTINUOUS, FREE OF IMPERFECTIONS, AND WITH NO VISIBLE JOINTS. U.O.N.</div></div><div><div>17.</div><div>SOUND PROOF ALL AREAS OF NEW CONSTRUCTION, INCLUDING ALL WALLS AND FLOORS AFFECTED BY RENOVATION.</div></div><div><div>18.</div><div>PROVIDE COMBUSTION AIR FOR WATER HEATER W/1 1/2" FOR BOTTOM OF THE COMPARTMENT. ALL WALL FRAMING SHALL BE 2X4 @ 16" O.C., MINIMUM, U.O.N.</div></div><div><div>19.</div><div>PROVIDE COMBUSTION AIR FOR WATER HEATER W/1 1/2" FOR BOTTOM OF THE COMPARTMENT</div></div><div><div>20.</div><div>ABS LINES TO BE PROVIDED FROM SINKS, SHOWERS, LAUNDRY, AND TUBS TO GREYWATER TANK, NO KITCHENS AND BARNS TO DRAIN TO GREYWATER</div></div><div><div>21.</div><div>ALL PERIMETER WALLS SHALL BE 1-HR FIRE-RESISTANCE-RATED CONSTRUCTION.</div></div><div><div>22.</div><div>SAFETY GLAZING MUST BE PROVIDED AT HAZARDOUS LOCATIONS PER CBC 2406.4, INCLUDING, BUT NOT LIMITED TO, GLAZING WITHIN 18 INCHES OF A WALKING SURFACE. GLAZING IN DOORS, AND WINDOWS ADJACENT TO DOORS, REVISE THE DOOR AND WINDOW SCHEDULES AS NECESSARY TO SHOW COMPLIANCE.</div></div><div><div>23.</div><div>THE ACCESSIBLE ROUTE TO BE 5% MAXIMUM RUNNING SLOPE WITH 2% MAXIMUM CROSS SLOPE PER CBC 11B-402.2.</div></div><div><div>24.</div><div>TOPS OF THE DINING SURFACES TO BE 28" TO 34" ABOVE THE FINISH FLOOR OR GROUND, CBC 11B-902.3.</div></div><div><div>25.</div><div>PROVIDE TOE AND KNEE CLEARANCE UNDER THE ACCESSIBLE DINING SURFACE IN ACCORDANCE WITH CBC 11B-306 AND 11B-902.4.1. SEE CBC FIGURE 11B-306.3 FOR ILLUSTRATION.</div></div></div></div>	

PLAN NOTES

Monarch Bay Estates

PROJECT ADDRESS
MONARCH BAY DRIVE
DANA POINT, CA 92629

CLIENT
MONARCH BAY HOA

DRAWING SET
AGENCY

foxlin
architecture
design
consulting

392 camino de estrella 949 325 3001 phone
san clemente, 949 203 3339 fax
california 92672
foxlin.com web
info@foxlin.com email

GH-ROOF		1/4" = 1'-0"	1
Date	Job #	Size	Revision #
8/25/2021 10:29:17 AM	1700	24" x 36"	1
Permit Submittal 01			

Sheet Title
ROOF PLAN - GUARDHOUSE

Sheet Number

A.A-113



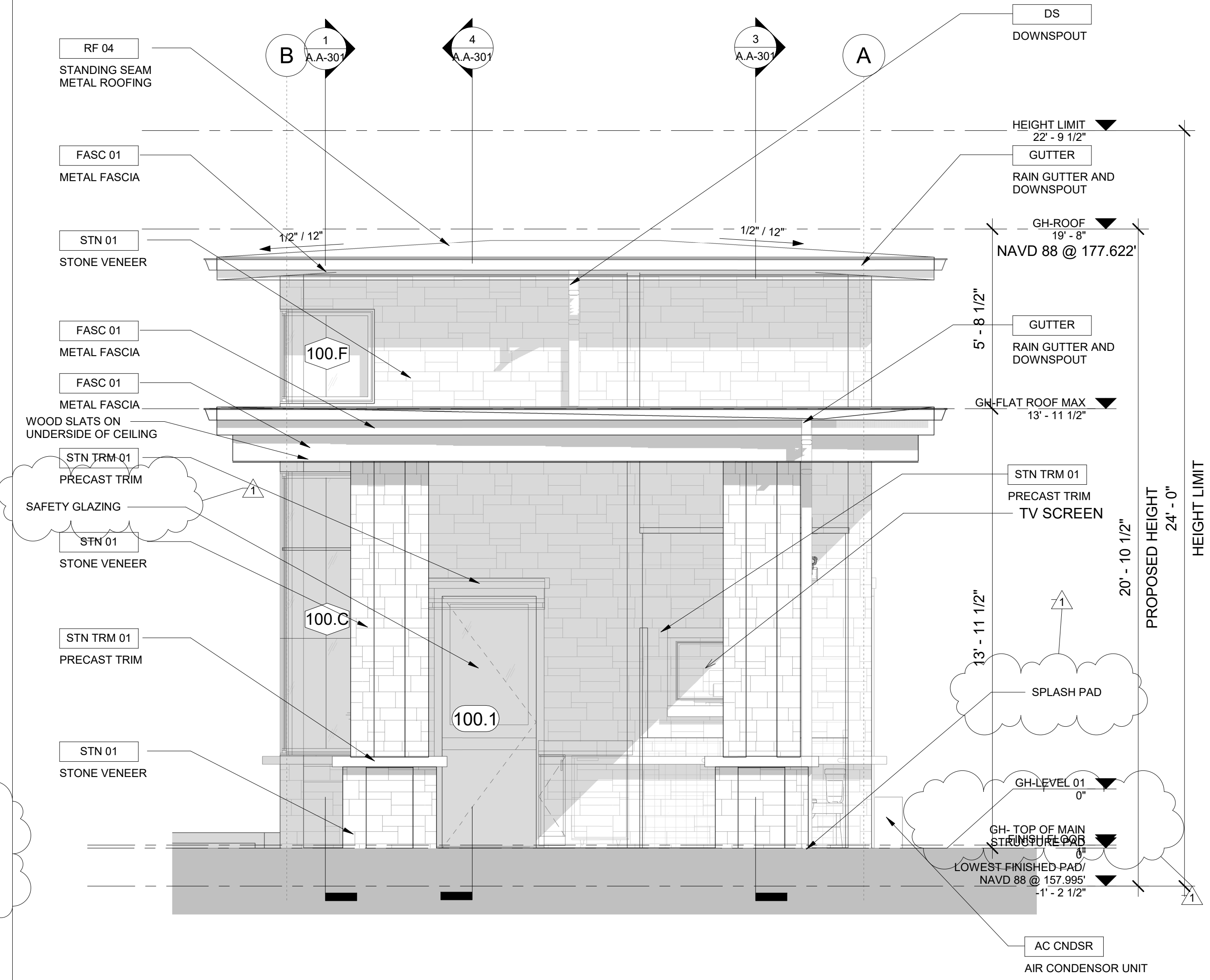
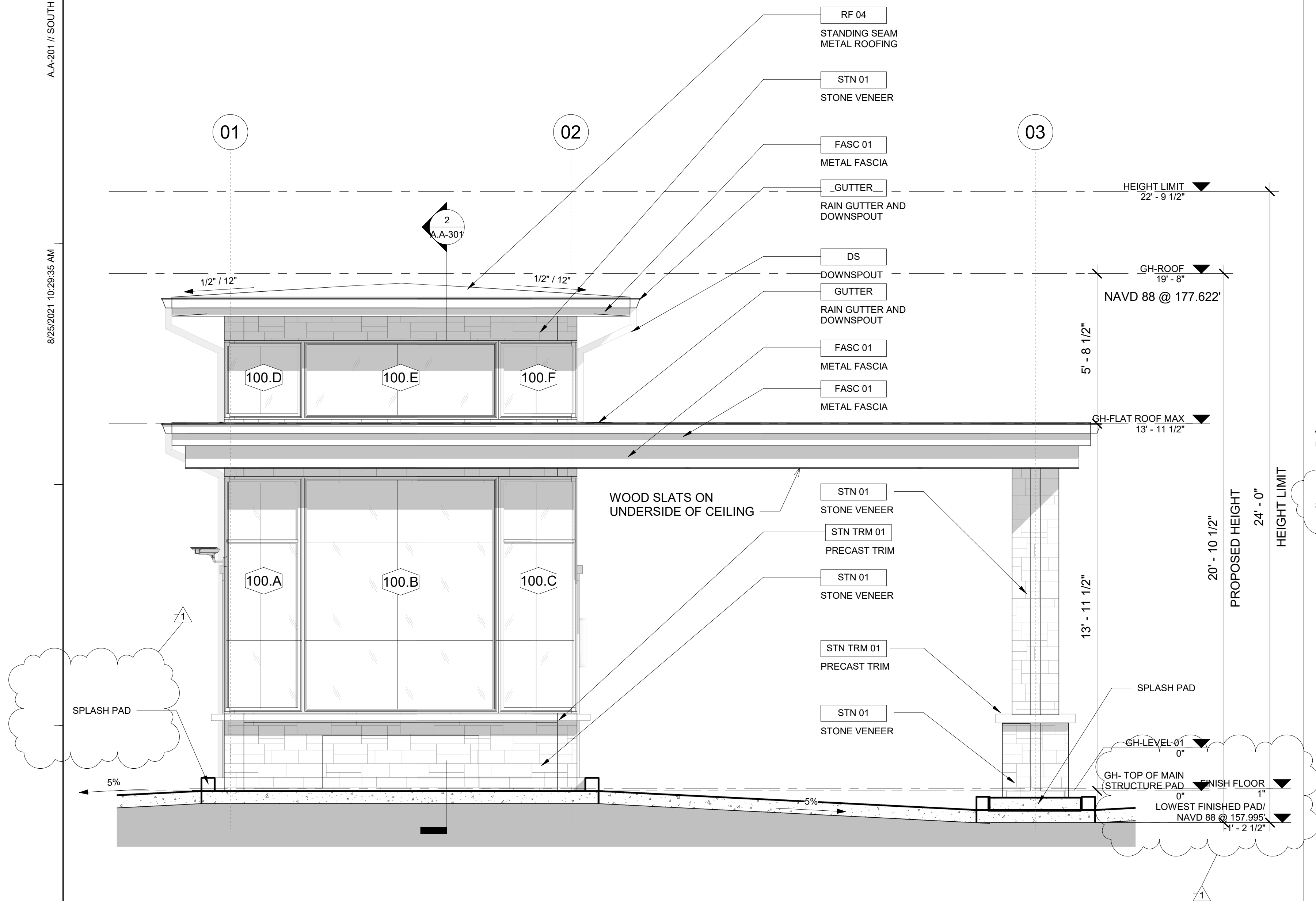
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Monarch Bay Estates
MONARCH BAY DRIVE
DANA POINT, CA 92629
MONARCH BAY HOA

B	Coastal Submittal 02	FL	COASTAL SUBMITTAL	12/01/20
1	Permit Submittal 01	FL	PERMIT SUBMITTAL	06/21/21
C	Coastal Submittal 03	FL	COASTAL SUBMITTAL	02/09/21
#	DISCRIPTION	BY	ISSUED TO	DATE
				REVISION SCHEDULE

GENERAL NOTES

1700



GUARDHOUSE - SOUTH ELEVATION 3/8" = 1'-0" 1

GUARDHOUSE - EAST ELEVATION 3/8" = 1'-0" 2

Monarch Bay Estates

PROJECT ADDRESS

MONARCH BAY DRIVE
DANA POINT, CA 92629

CLIENT

MONARCH BAY HOA

DRAWING SET

AGENCY

architecture
design
consulting392 camino de estrella 949 325 3001 phone
san clemente, 949 203 3339 fax
california 92672
foxlin.com web
info@foxlin.com email

Job #

1700

Size

24" x 36"

Revision #

1

Date

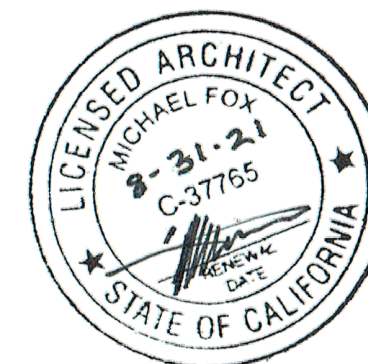
8/25/2021
10:29:35 AMRevision #
Permit Submittal 01

Sheet Title

SOUTH AND EAST ELEVATIONS -
GUARDHOUSE

Sheet Number

A.A-201



1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. 5. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION. 6. DRAWINGS REPRESENT DESIGN INTENT ONLY. ARCHITECT IS NOT RESPONSIBLE FOR MEANS AND METHODS.

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Monarch Bay Estates

MONARCH BAY DRIVE

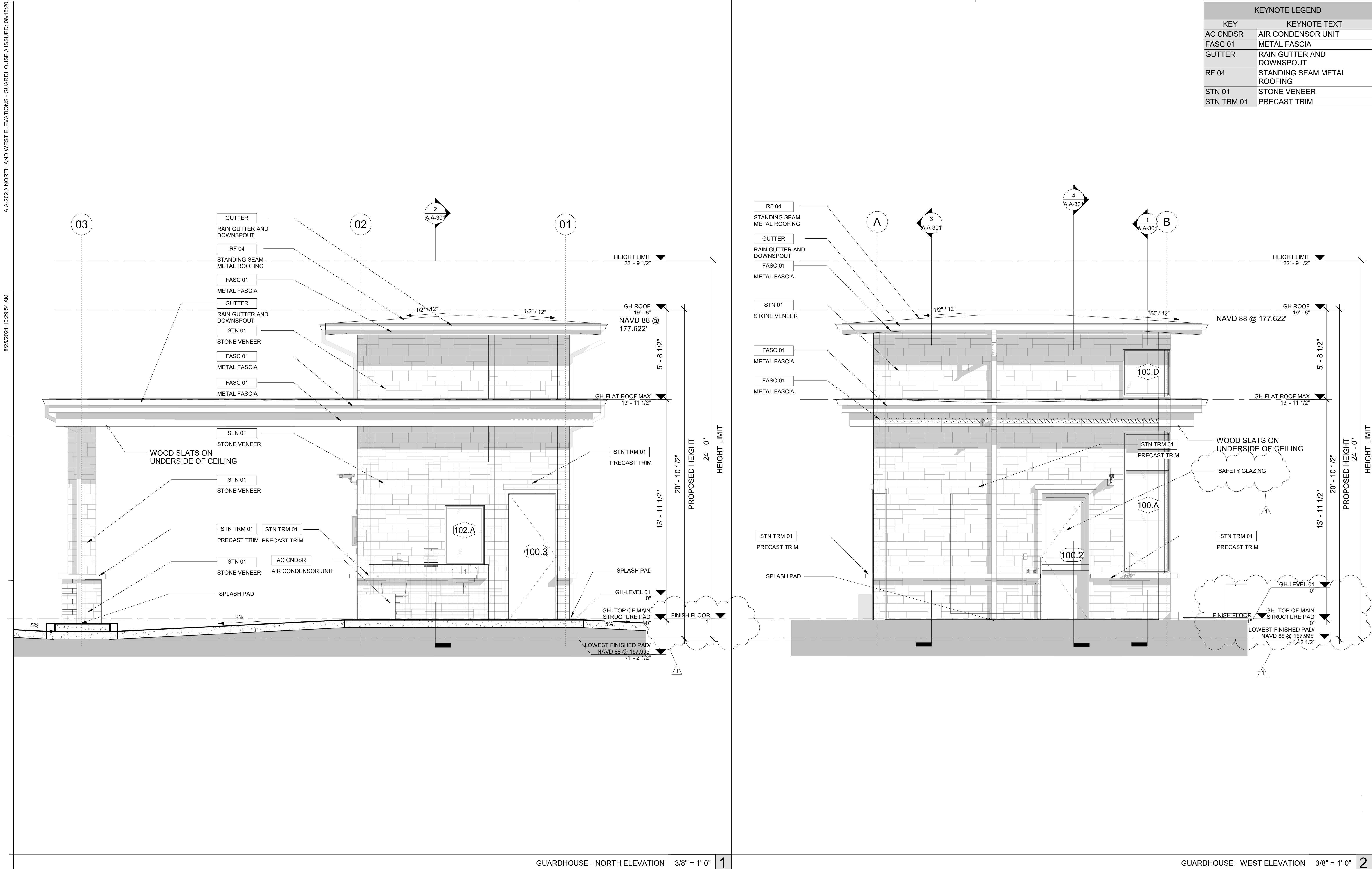
DANA POINT, CA 92629

MONARCH BAY HOA

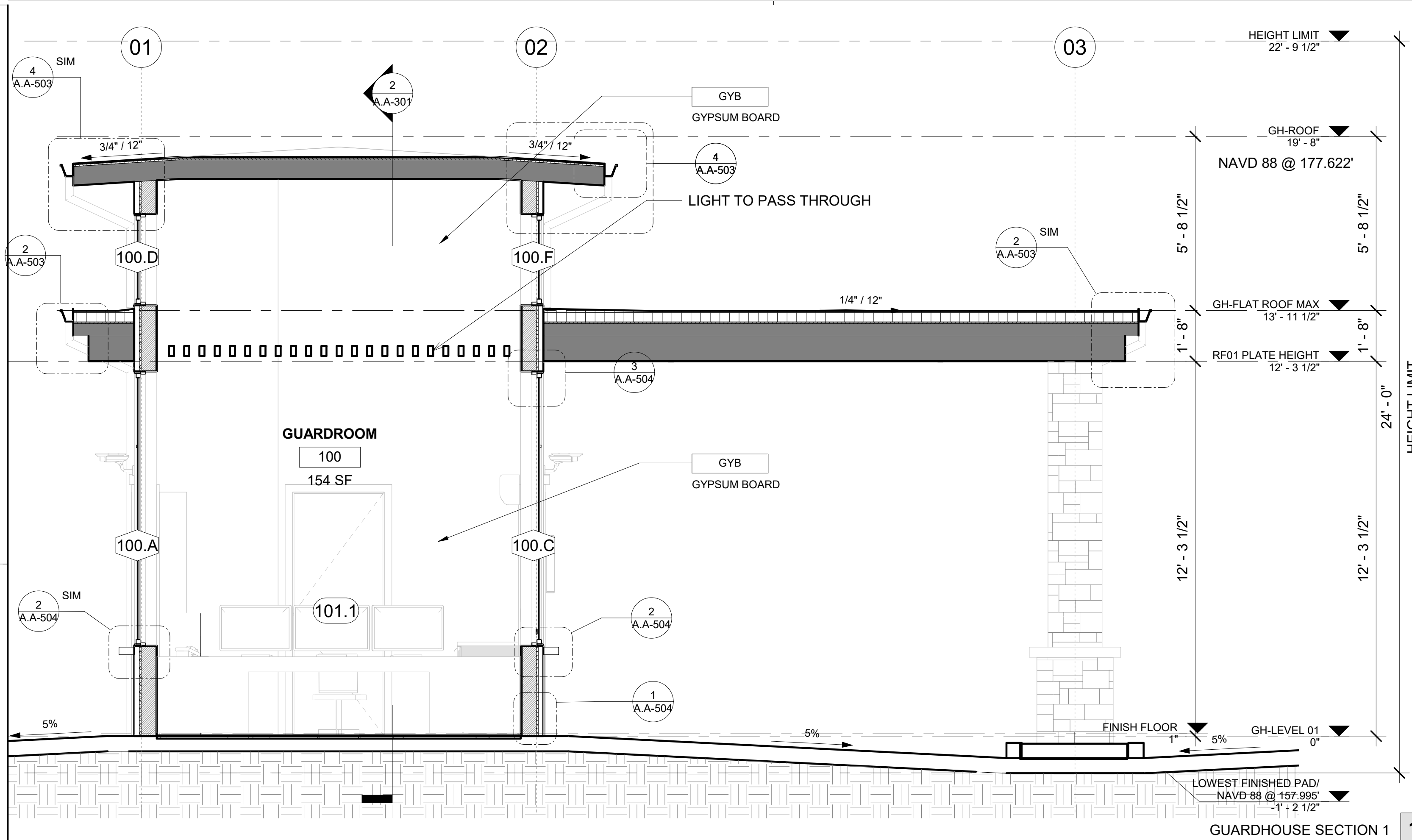
1700

DISCRIPTION	BY	ISSUED TO	DATE
B Coastal Submittal 02	FL	COASTAL SUBMITTAL	12/01/20
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C Coastal Submittal 03	FL	COASTAL SUBMITTAL	02/09/21

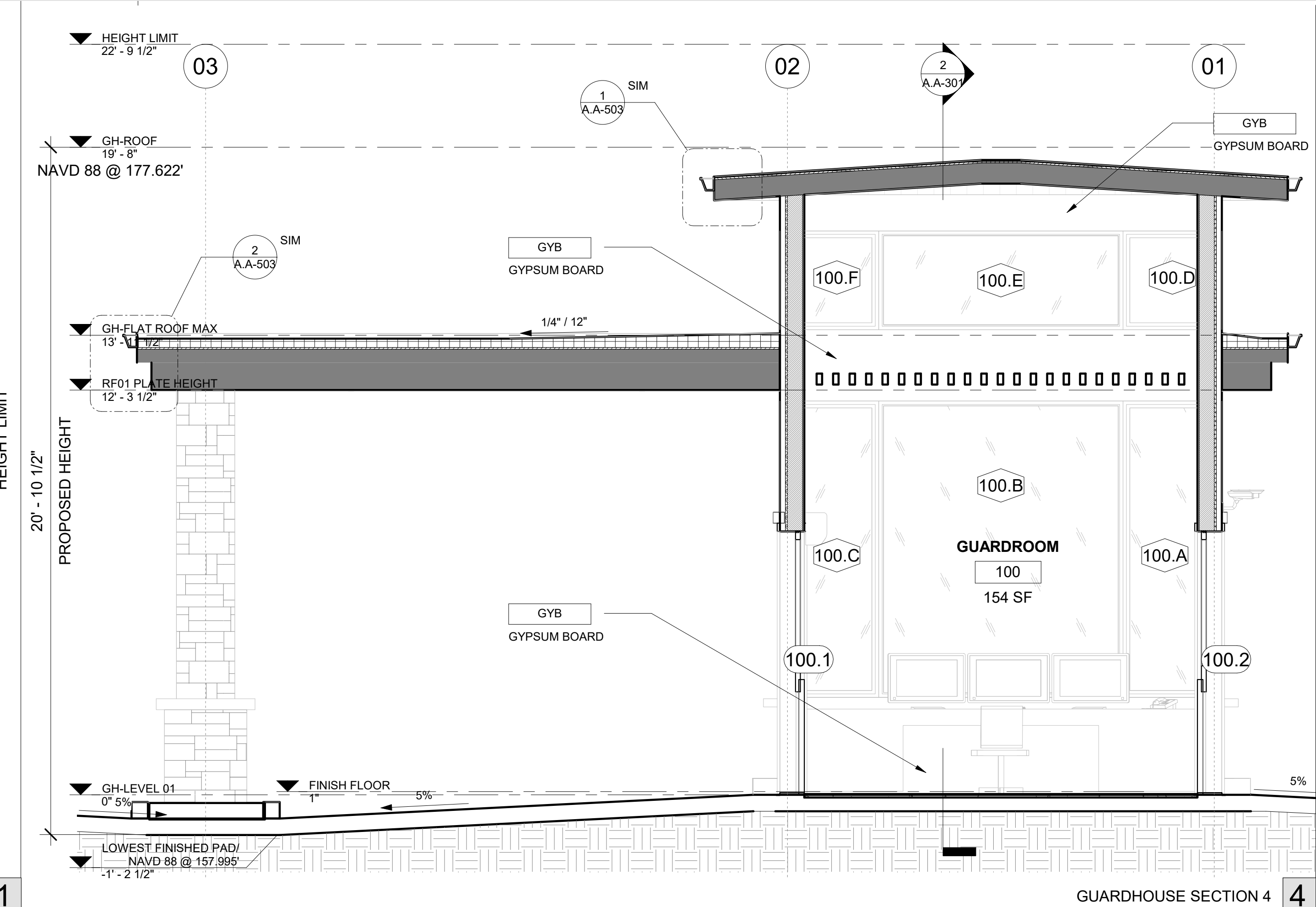
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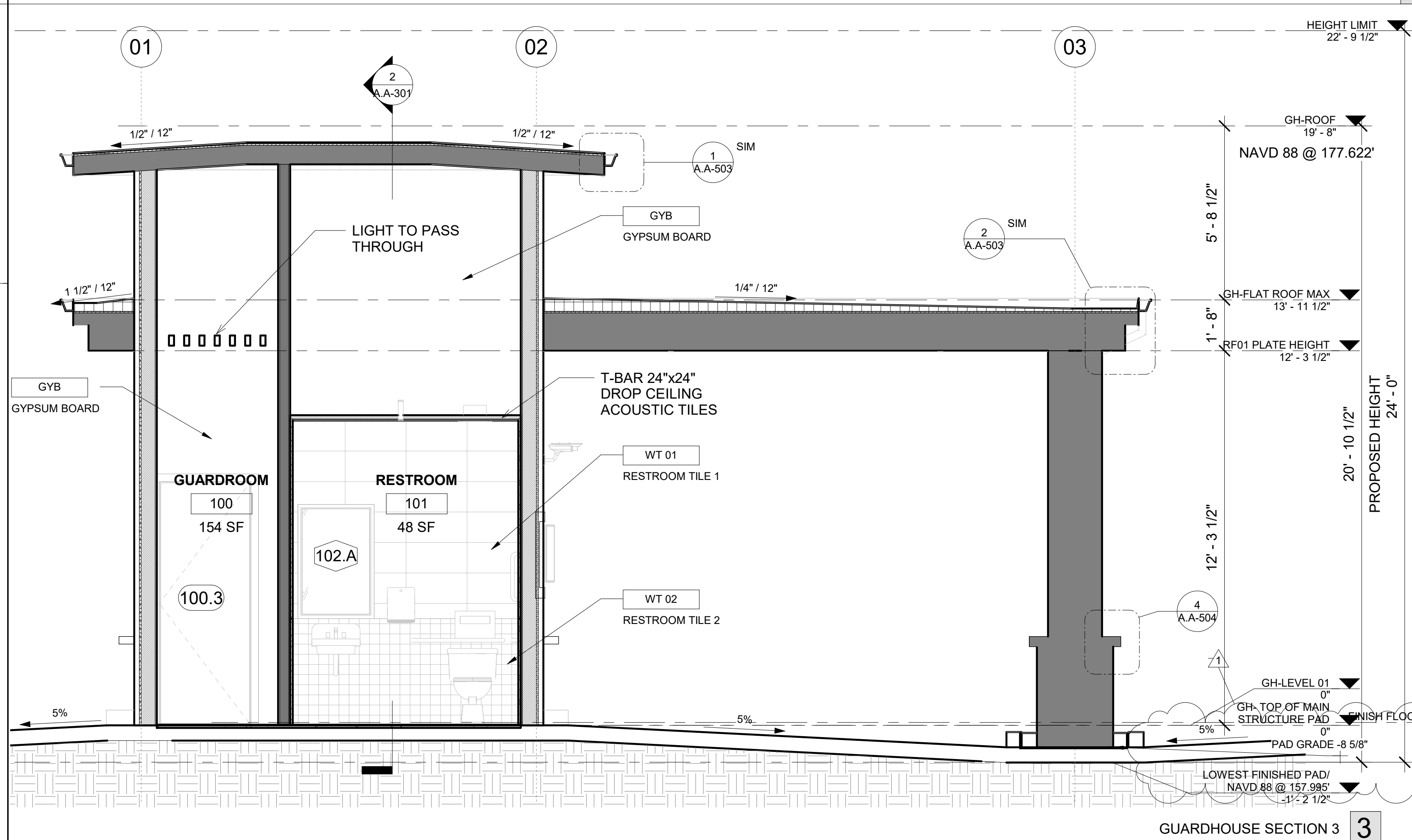
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A.A-301 / BUILDING SECTIONS - GUARDHOUSE / ISSUED - X



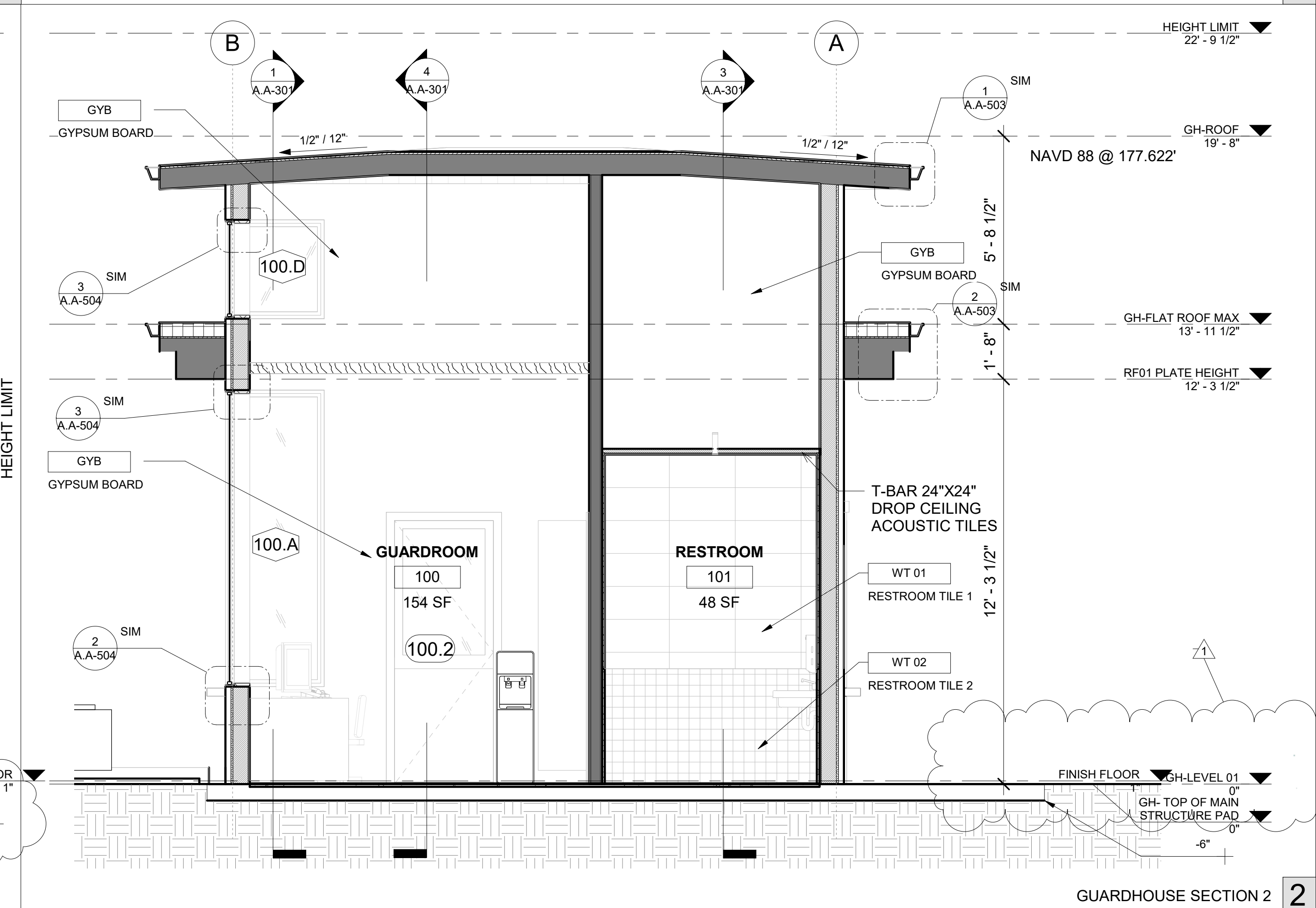
GUARDHOUSE SECTION 1



GUARDHOUSE SECTION 4



GUARDHOUSE SECTION 3



GUARDHOUSE SECTION 2

Monarch Bay Estates

PROJECT ADDRESS
MONARCH BAY DRIVE
DANA POINT, CA 92629

CLIENT
MONARCH BAY HOA

DRAWING SET
AGENCY

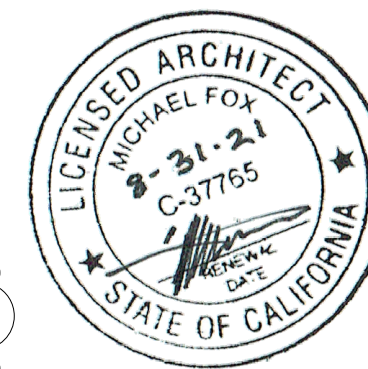
foxlin
architecture
design
consulting

392 camino de estrella 949 325 3001 phone
san clemente, 949 203 3339 fax
california 92672 foxlin.com web
info@foxlin.com email

Job # 1700
Size 24" x 36"
Date 8/25/2021 10:29:59 AM
Revision # 1
Permit Submittal 01

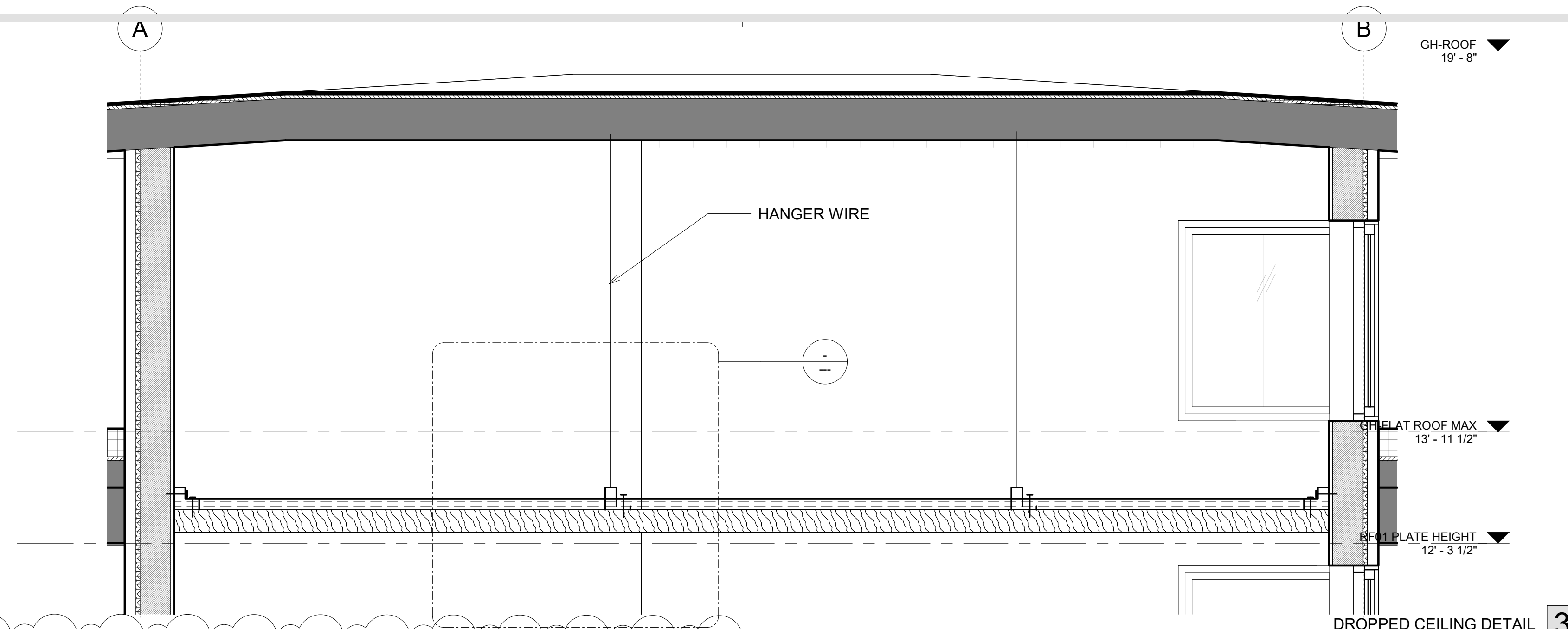
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BUILDING SECTIONS - GUARDHOUSE

Sheet Number
A.A-301

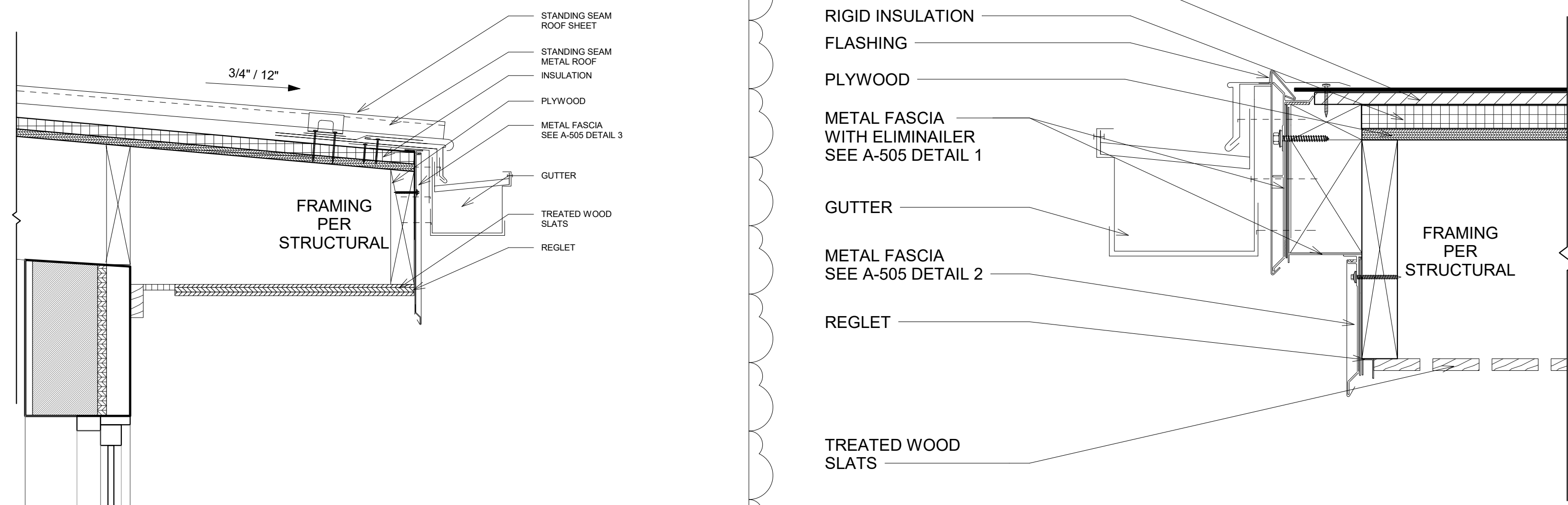


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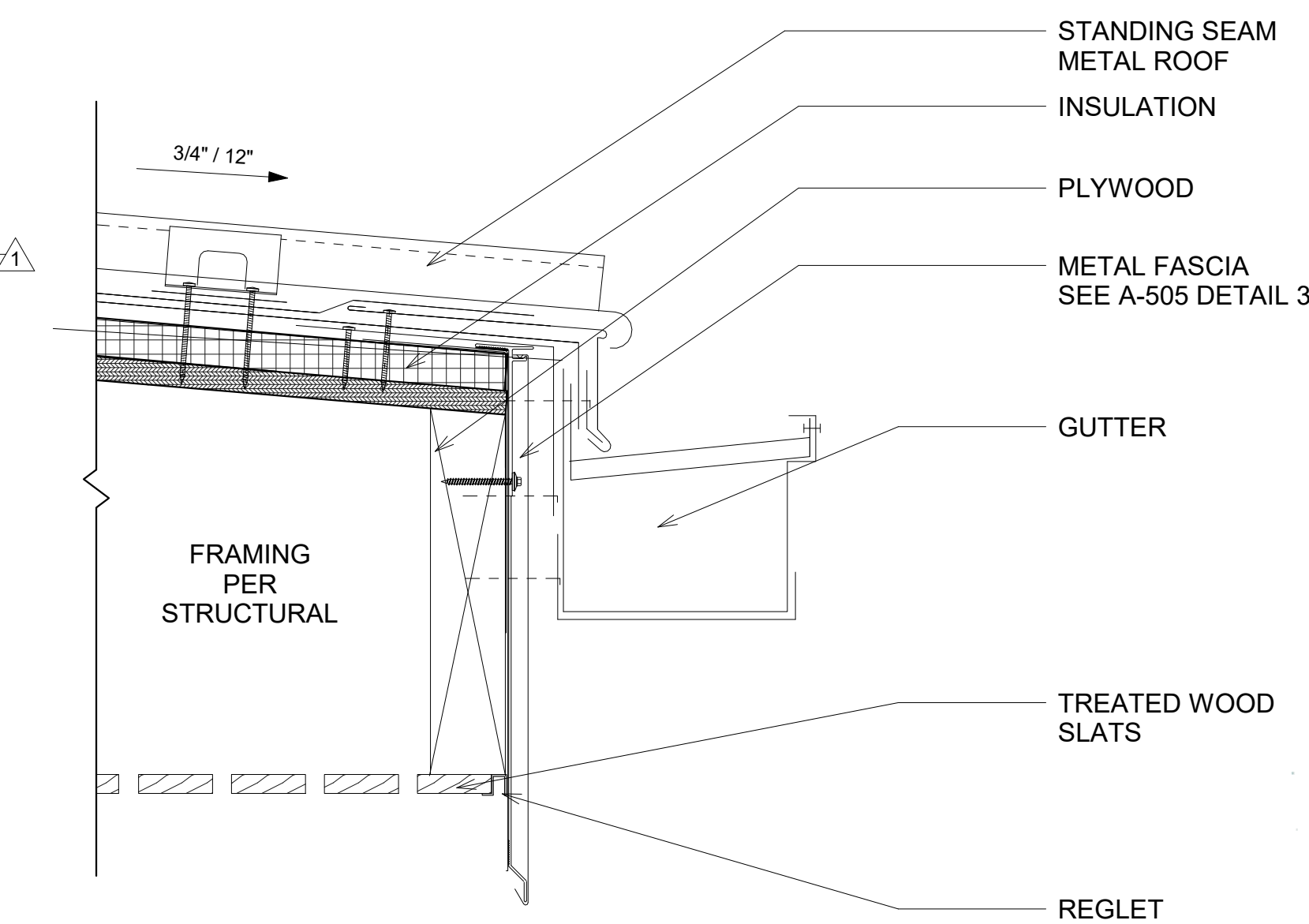
Monarch Bay Estates	12/01/20	B	Coastal Submittal 02	FL	COASTAL SUBMITTAL	DATE
MONARCH BAY DRIVE	08/19/20	A	Coastal Submittal 01	FL	COASTAL SUBMITTAL	DATE
MONARCH BAY HOA	06/21/21	1	Permit Submittal 01	FL	PERMIT SUBMITTAL	DATE
	02/09/21	C	Coastal Submittal 03	FL	COASTAL SUBMITTAL	DATE
		#	DISCREPANCY	BY	ISSUED TO	REVISION SCHEDULE



DROPPED CEILING DETAIL 3



GUARDHOUSE CLOSED SOFFIT DETAIL 4



GUARDHOUSE LOW ROOF EAVE DETAIL 1

WOODWORKER'S Grille Solid Wood Becker, Doublet and Becker & Doublet Combination

*Custom looks
with Standard
Products*

24
H x 24 W
1/2" D

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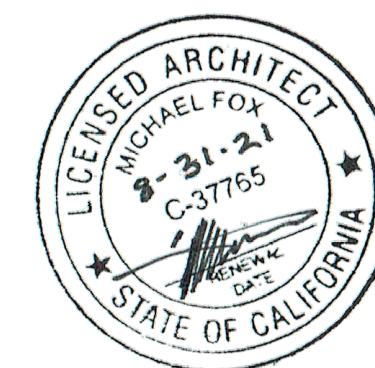
ARMSTRONG

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STANDARD SIZES				
	1" x 1/4" SLAT WIDTH	1" SLAT WIDTH	2" SLAT WIDTH	3" SLAT WIDTH
	3 Slats Per Panel	4 Slats Per Panel	5 Slats Per Panel	6 Slats Per Panel
1/32" SLAT HEIGHT				
1/8" SLAT HEIGHT				
3/16" SLAT HEIGHT				
1/2" SLAT HEIGHT				
5/8" SLAT HEIGHT				
3/4" SLAT HEIGHT				
7/8" SLAT HEIGHT				
1" SLAT HEIGHT				

See List Low 677 270-7870

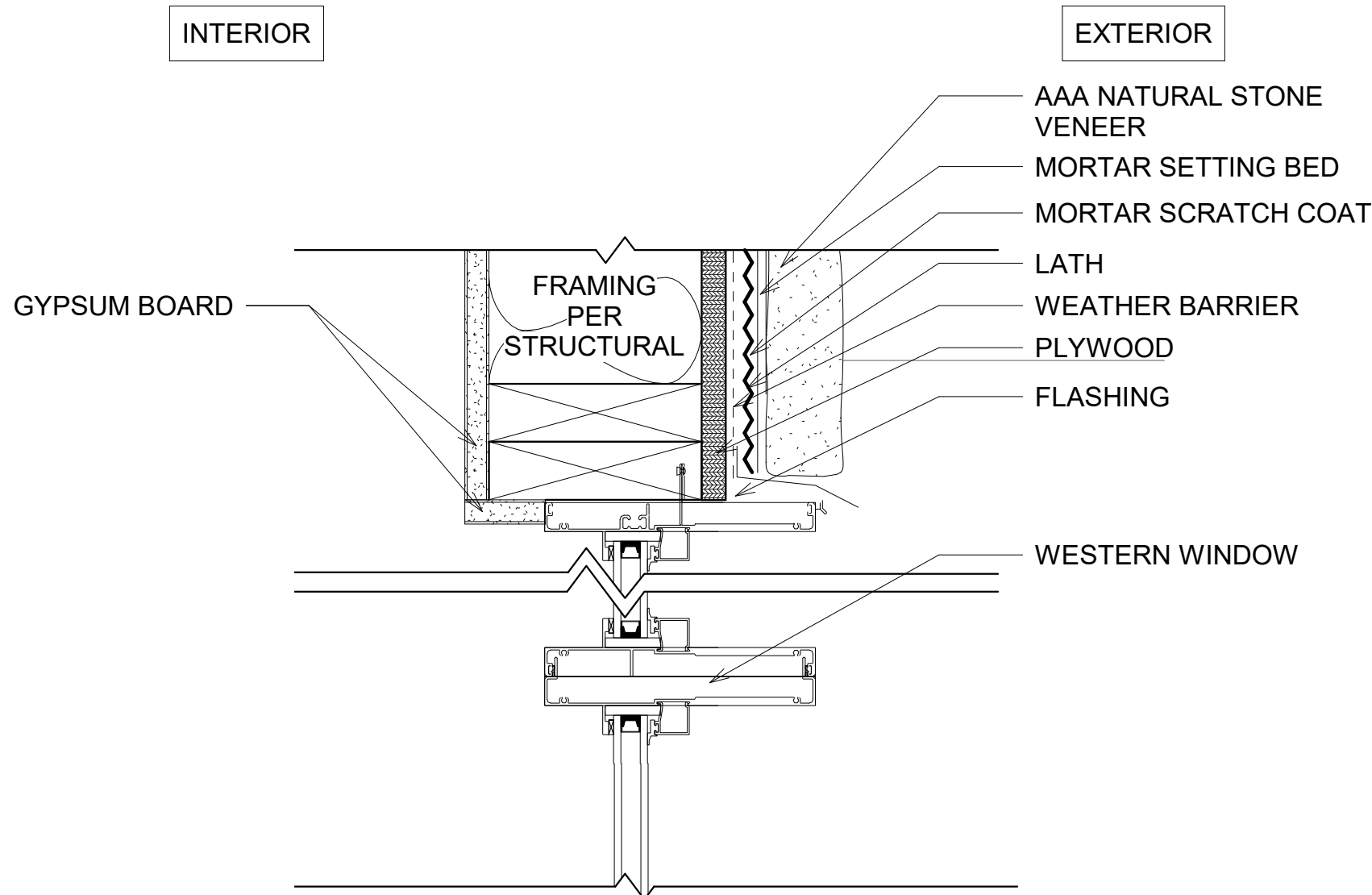
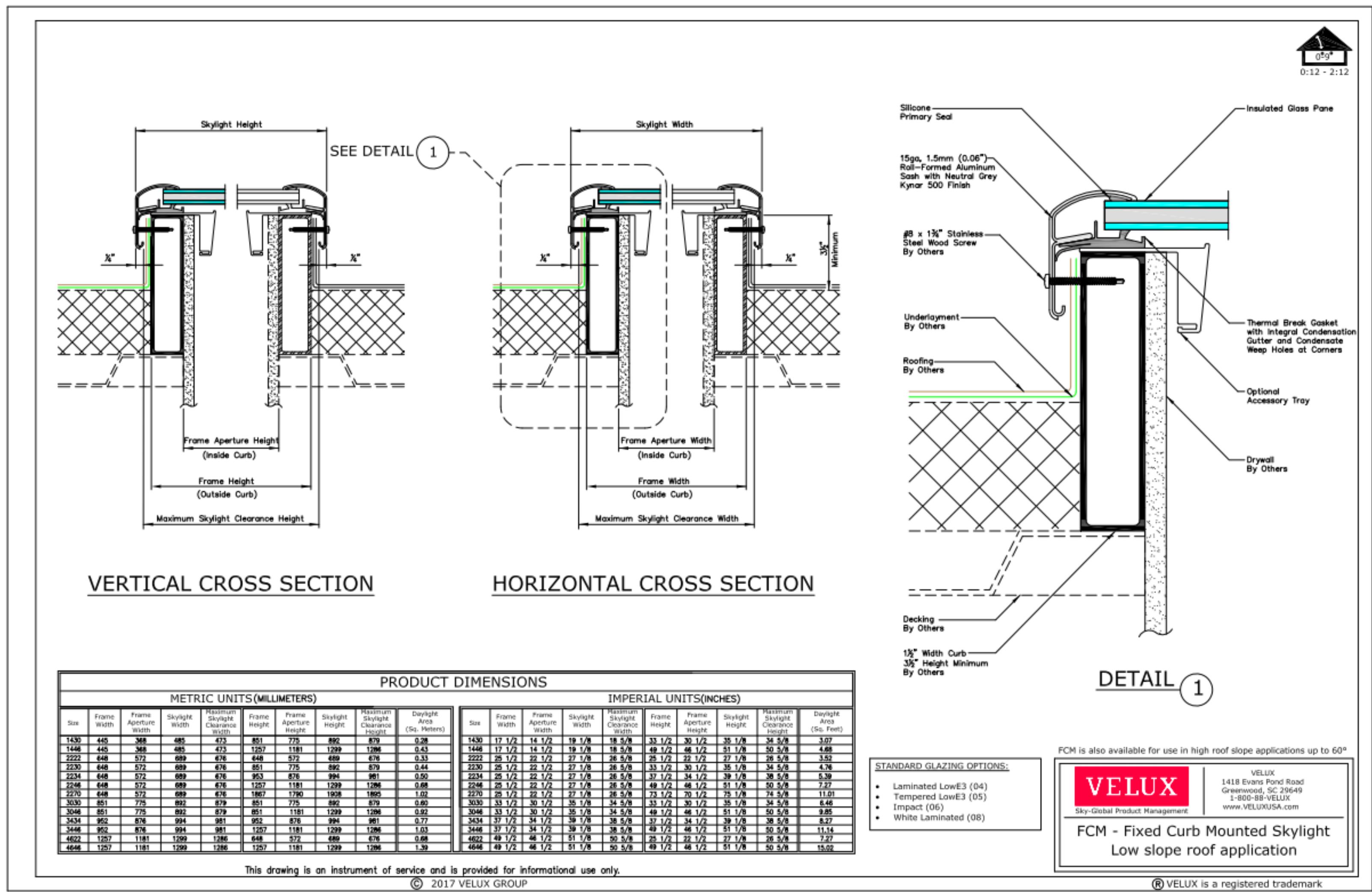
For more information on all Armstrong products, visit the Armstrong website at www.armstrongceiling.com

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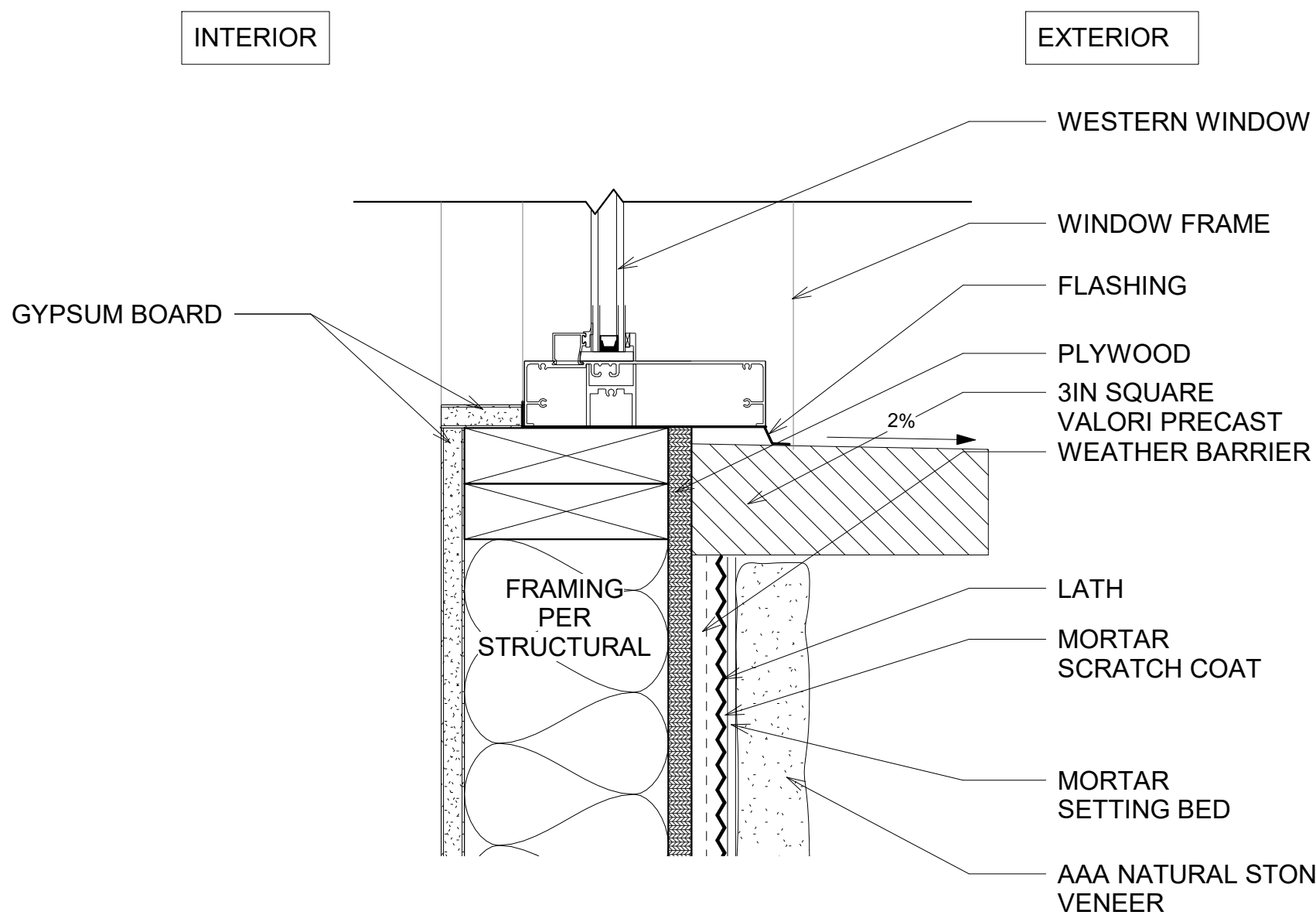
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Monarch Bay Estates
MONARCH BAY DRIVE DANA POINT, CA 92629
MONARCH BAY HOA
1700

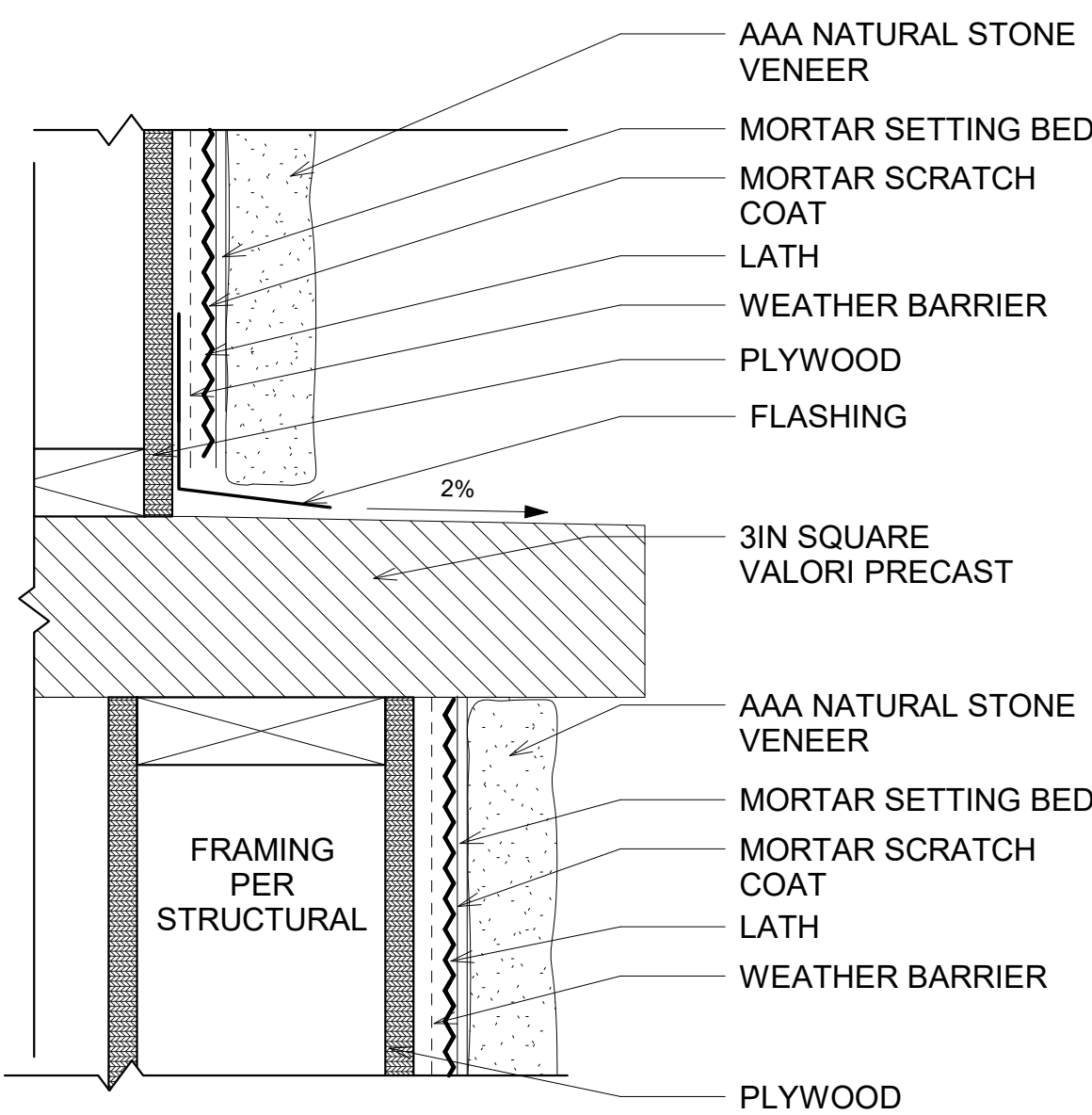
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				ISSUED TO	DATE
REVISION SCHEDULE					
1	Permit Submittal 01				



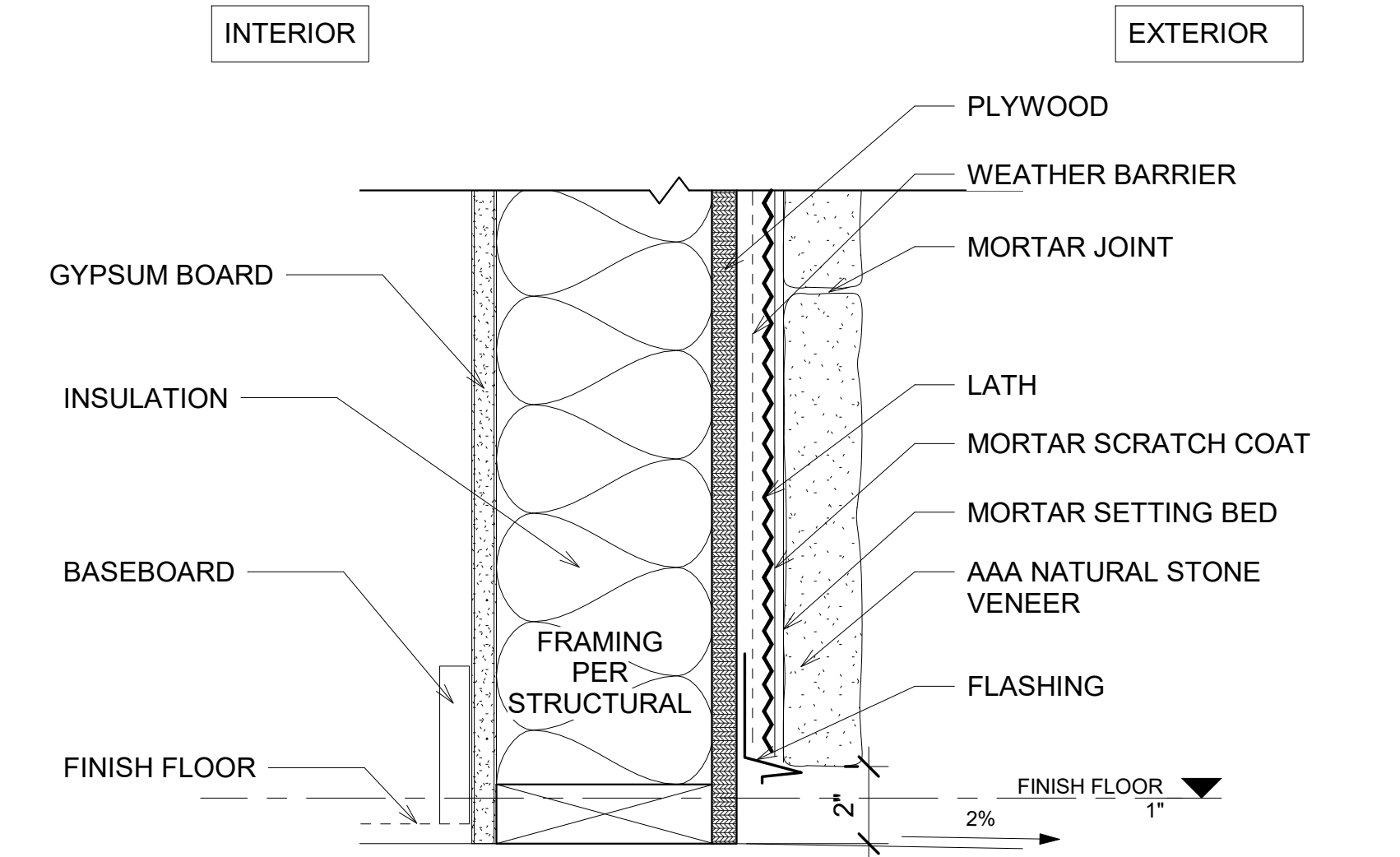
GUARDHOUSE WINDOW HEADER DETAIL @ STONE VENEER WALL



GUARDHOUSE WINDOW SILL DETAIL @ STONE VENEER WALL



COLUMN DETAIL @ STONE VENEER



GUARDHOUSE WALL DETAIL @ STONE VENEER

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Monarch Bay Estates
MONARCH BAY DRIVE
DANA POINT, CA 92629
MONARCH BAY HOA

1 Permit Submittal 01
DISCUSSION
FL BY
PERMIT SUBMITTAL
ISSUED TO
REVISION SCHEDULE
DATE
06/21/21
1700





Monarch Bay



Guard House



TREATED WOOD
SLATS



AAA NATURAL STONE -
AMERICAN MODERN/NEO
LEDGE:SAWN/ STELLA

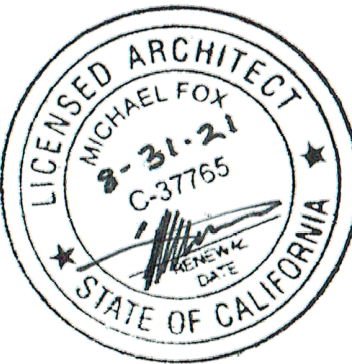


WESTERN WINDOW SYSTEMS -
SERIES 600 WINDOW WALL:
HILLSIDE BRONZE



METAL ERA - ANCHOR
TITE FASCIA: DARK
BRONZE

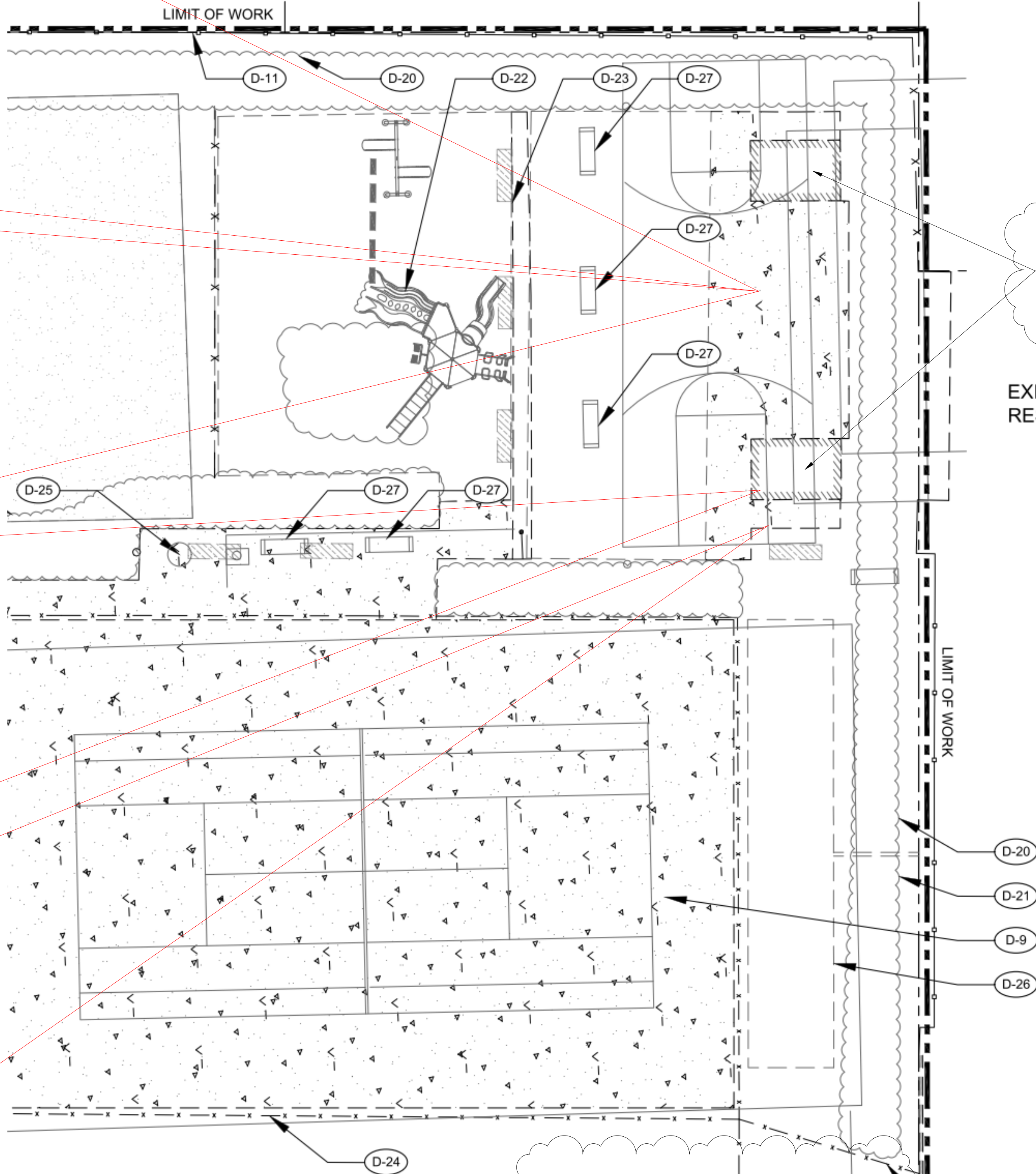
Monarch Bay



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GENERAL NOTES		

Monarch Bay Estates	
MONARCH BAY DRIVE DANA POINT, CA 92629	
MONARCH BAY HOA	
1700	

1	Permit Submittal	FL	PERMIT SUBMITTAL	06/21/21
C	Coastal Submittal	FL	COASTAL SUBMITTAL	02/09/21
#	DISCRIPTION	BY	ISSUED TO	DATE
REVISION SCHEDULE				



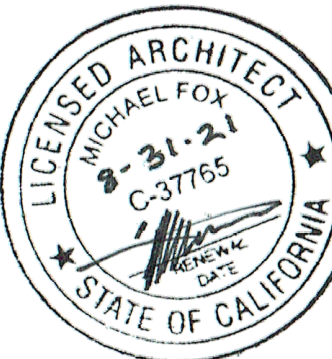
DEMOLITION SCHEDULE	
KEY	DESCRIPTION
D-1	EXISTING RADIAL WALL TO REMAIN IN PLACE
D-2	EXISTING FLAG POLL TO REMAIN IN PLACE
D-3	EXISTING TREE TO REMAIN IN PLACE
D-4	EXISTING TREE TO BE REMOVED
D-5	EXISTING LOW WALL TO BE REMOVED
D-6	EXISTING PAVING TO BE REMOVED
D-7	EXISTING ASPHALT PAVING TO BE REMOVED
D-8	EXISTING CONCRETE STAIR TO BE REMOVED
D-9	EXISTING CONCRETE PAVING TO BE REMOVED
D-10	EXISTING PUTTING GREEN TO BE REMOVED
D-11	EXISTING FENCE TO REMAIN IN PLACE
D-12	EXISTING TO BE PROTECTED IN PLACE
D-13	EXISTING BOLLARDS TO BE REMOVED
D-14	EXISTING LANDSCAPE AND IRRIGATION TO BE REMOVED
D-15	EXISTING CURB TO REMAIN IN PLACE
D-16	EXISTING CURB TO BE REMOVED
D-17	EXISTING PILASTER TO BE REMOVED
D-18	EXISTING STREET LIGHT TO REMAIN IN PLACE
D-19	EXISTING LOW WALL TO REMAIN IN PLACE
D-20	EXISTING TREE/SHRUB HEDGE TO REMAIN IN PLACE
D-21	EXISTING SHRUB HEDGE TO BE REMOVED
D-22	EXISTING PLAY EQUIPMENT TO BE RELOCATED
D-23	EXISTING CONCRETE CHANNEL TO BE REMOVED
D-24	EXISTING FENCE TO BE REMOVED
D-25	EXISTING WATER FOUNTAIN TO BE REMOVED
D-26	EXISTING BOCCIE BALL COURT TO BE REMOVED
D-27	EXISTING BENCH TO BE RELOCATED

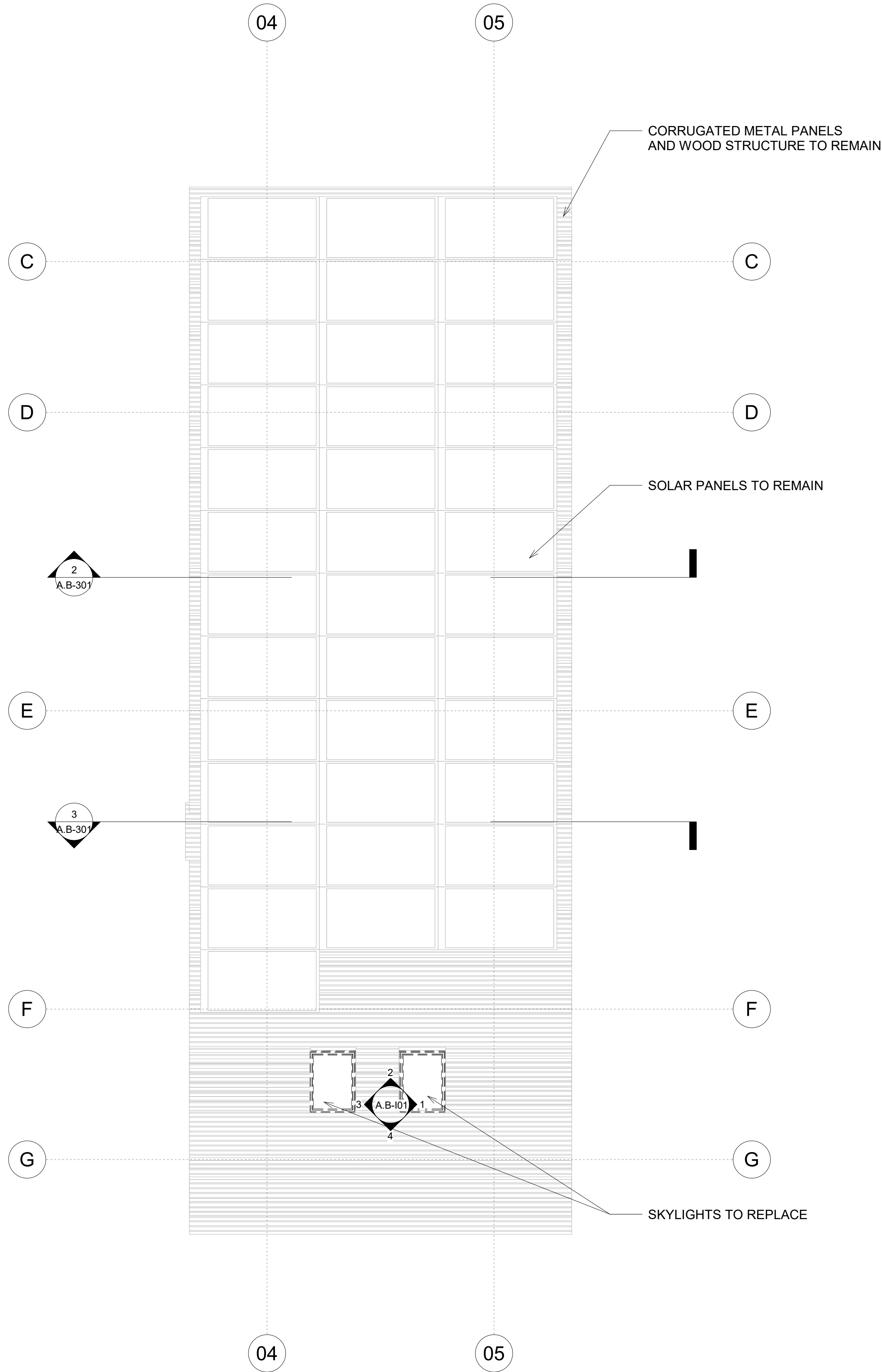
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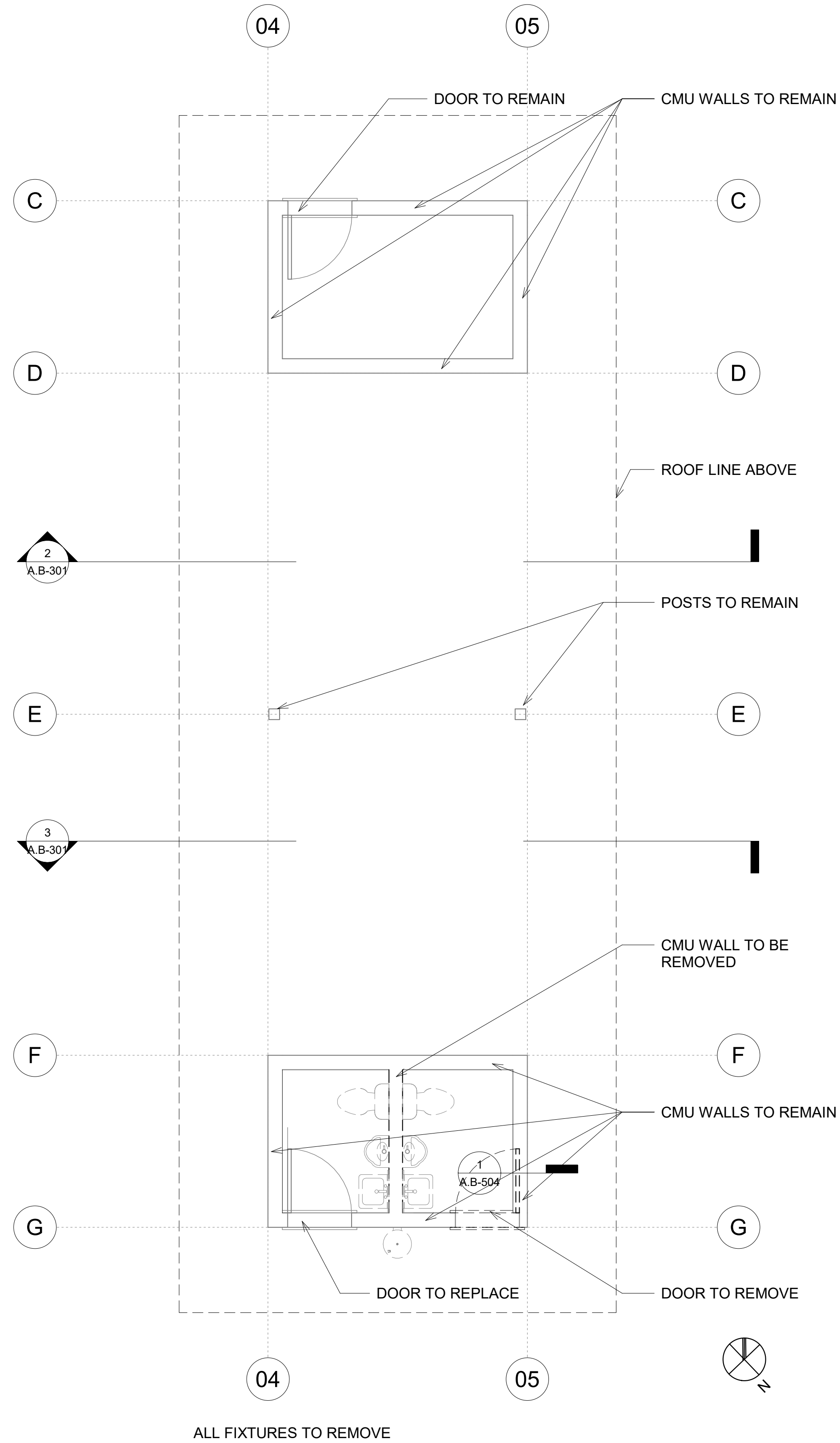
Monarch Bay Estates
MONARCH BAY DRIVE
DANA POINT, CA 92629
MONARCH BAY HOA
1700

B	Coastal Submittal 02	FL	COASTAL SUBMITTAL	12/01/20
1	Permit Submittal 01	FL	PERMIT SUBMITTAL	06/21/21
C	Coastal Submittal 03	FL	COASTAL SUBMITTAL	02/09/21
#	DISCRIPTION	BY	ISSUED TO	DATE
			REVISION SCHEDULE	





PAVILLION-ROOF DEMO 2



ALL FIXTURES TO REMOVE

PAVILLION-LEVEL 01 DEMO 1

- NOTE:
- DEMO WALL PER STRUCTURAL NEEDS AND REPLACE FINISH AS NEEDED
 - REMOVE ALL EXISTING BASE AND DOOR CASINGS
 - REPLACE ALL RECESSED LIGHTS SAME LOCATION WITH 3.5"-4" SQUARE FIXTURES
 - ALL SWITCH PANELS TO BE REPLACED, FIXTURE TBD
 - ALL EXISTING DOOR CASINGS TO BE REMOVED.

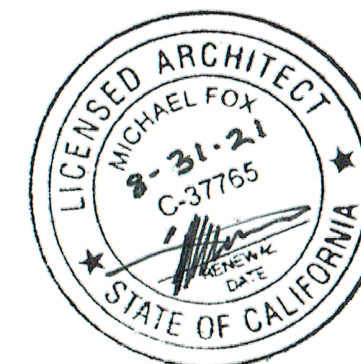
LEGEND

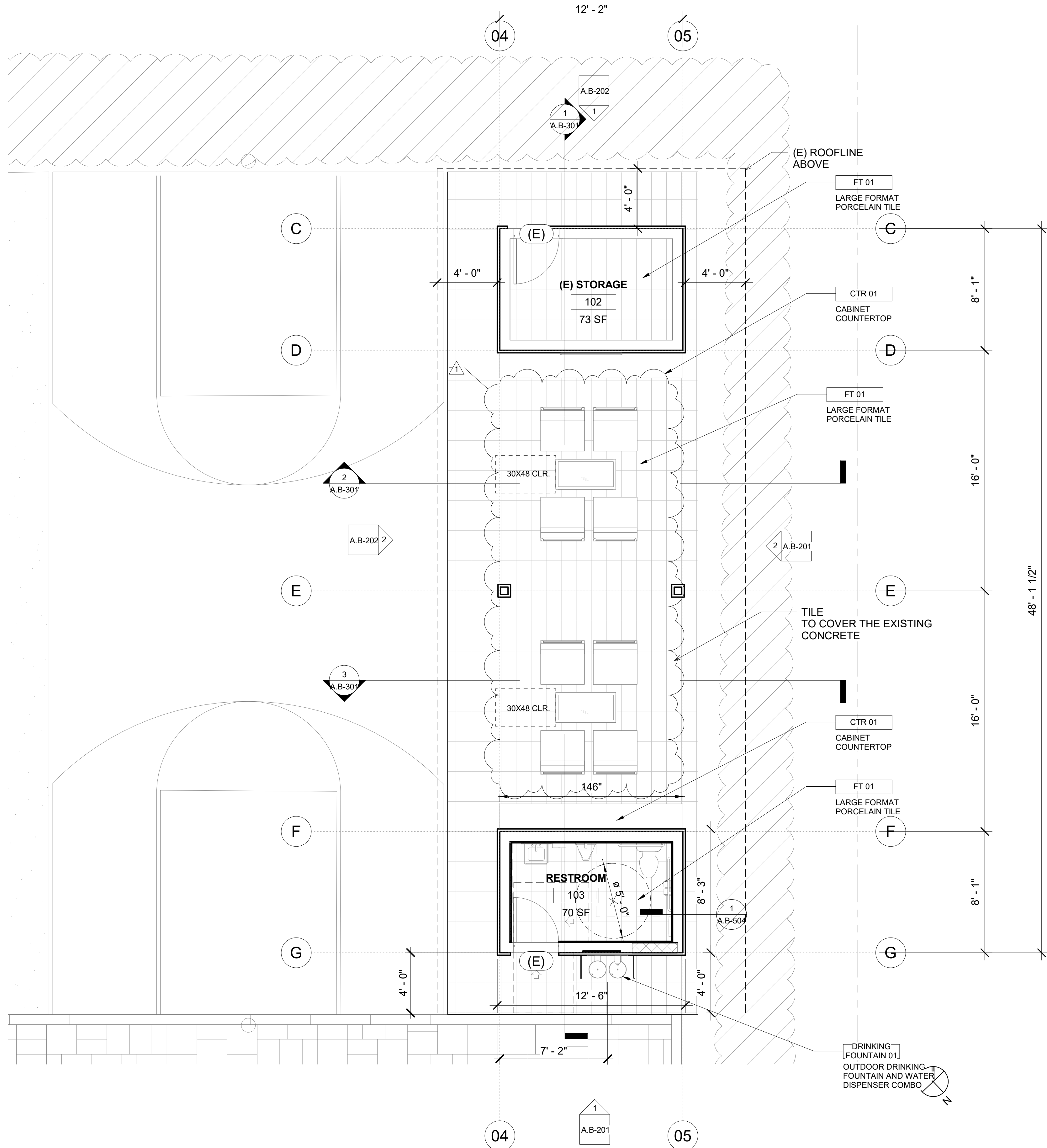
- EXISTING WALL TO REMAIN
- - - EXISTING WALL TO BE REMOVED

1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. 2. ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.), UNLESS OTHERWISE NOTED. 3. AS-BUILT CONDITIONS SHOULD BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK. 4. DRAWINGS REPRESENT DESIGN INTENT ONLY. CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS.	5. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
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Monarch Bay Estates	1700
MONARCH BAY DRIVE DANA POINT, CA 92629	
MONARCH BAY HOA	

B Coastal Submittal 02	FL	COASTAL SUBMITTAL	12/01/20
1 Permit Submittal 01	FL	PERMIT SUBMITTAL	06/21/21
C Coastal Submittal 03	FL	COASTAL SUBMITTAL	02/09/21
# DISPOSITION	BY	ISSUED TO	DATE





TOTAL FIXED SEATS : 8
TOTAL ACCESSIBLE LOCATIONS AT TABLE : 2
TOTAL SEATING AREA : 10
ACCESSIBLE SEATING : 20%

KEYNOTE LEGEND	
KEY	KEYNOTE TEXT
CTR 01	CABINET COUNTERTOP
DRINKING FOUNTAIN 01	OUTDOOR DRINKING FOUNTAIN AND WATER DISPENSER COMBO
FT 01	LARGE FORMAT PORCELAIN TILE

#

TO STRUCTURE

#

TO FINISH

1. ALL DOORS AND WINDOWS DIMENSIONED TO CENTERLINE OF CLEAR OPENING. ALL NON-DIMENSIONED WINDOWS TO BE CENTERED IN THE CLEAR OPENING. WHERE LOCATION OF WINDOWS AND DOORS ARE NOT DIMENSIONED, THEY SHALL BE PLACED 3' FROM F.O. FINISH OF ADJACENT WALL AS INDICATED ON DRAWINGS.

2. ALL CASEWORK DIMENSIONS TO FACE OF FINISH.

3. ALL INSULATION MATERIALS SHALL BE CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATION MATERIAL. DOORS AND WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACE SHALL BE FULL WEATHER-STRIPPED.

4. ALL DECK SURFACES SHALL BE SLOPED A MINIMUM OF 1/4" PER FOOT, U.O.N.

5. EXTERIOR DOORS ONLY TO OPEN OUTWARDS IF EXTERIOR DOOR LANDING IS NOT MORE THAN 0.5' LOWER THAN THE DOOR THRESHOLD.

6. MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED INDICATING COMPLIANCE WITH THE APPROPRIATE INFILTRATION STANDARDS. CAULK PLUMBING AND ELECTRICAL PENETRATIONS, ALL WINDOW AND DOOR FRAMES, BETWEEN WALL SOLEPLATES AND FLOORS, AND ALL OTHER OPENINGS IN THE ENVELOPE.

7. ALL EXTERIOR OPENINGS (AND OPENINGS BETWEEN HEATED AND UNHEATED AREAS) SHALL BE PROPERLY WEATHER-STRIPPED, CERTIFIED AND LABELED PROVIDE VINYL BEAD TYPE WEATHER STRIPPING AT THESE DOORS AND WINDOWS, ALL SIDES OF THE DOOR MUST BE WEATHERSTRIPPED, INCLUDING THE THRESHOLD.

8. CAULK AND SEAL OPENING IN BUILDING EXTERIOR 1/8" OR GREATER TO PREVENT AIR INFILTRATION.

9. WHERE REQUIRED, PROVIDE MINIMUM INSULATION OF R-13 AT EXTERIOR WALLS, AND R-30 IN ROOF AND CEILING AREAS.

10. PROVIDE WOOD BLOCKING AS REQUIRED AT ALL WALL BASE INSTALLATIONS. REFER TO DETAIL SHEETS FOR WALL BASE DETAILS.

11. PROVIDE ADDITIONAL PLYWOOD SHEATHING ON ALL WALLS TO RECEIVE PLYWOOD SHEAR-WALL SHEATHING TO COMPLETELY FLUSH OUT SUBSTRATE SURFACE(S). ADDITIONAL SHEATHING SHALL EXACTLY MATCH THE THICKNESS OF THE SHEAR-WALL SHEATHING REQUIRED. ADDITIONAL SHEATHING SHALL CONTINUE ALONG WALL UNTIL JUNCTION WITH A PERPENDICULAR WALL OR END OF WALL, OR AS DIRECTED BY DESIGNER.

12. SLOPE FRAMING OR PROVIDE DECKING/SUBSTRATE AS REQUIRED TO PROVIDE SLOPES AS INDICATED AND POSITIVE DRAINAGE TOWARDS DRAINS.

13. STUCCO OVER WOOD SHEATHING SHALL INCLUDE TWO LAYERS OF GRADE "D" BUILDING PAPER.

14. ALL WALL FRAMING SHALL BE 2X4 @ 16" O.C., MINIMUM, U.O.N.

15. ALL GYPSUM BOARD SHALL BE 5/8" THICK, TYPE "X", U.O.N.

16. ALL GYPSUM AND/OR PLASTER SURFACES SHALL BE SMOOTH, CONTINUOUS, FREE OF IMPERFECTIONS, AND WITH NO VISIBLE JOINTS, U.O.N.

17. SOUND PROOF ALL AREAS OF NEW CONSTRUCTION, INCLUDING ALL WALLS AND FLOORS AFFECTED BY RENOVATION.

18. PROVIDE COMBUSTION AIR FOR WATER HEATER W/1 1/2" FOR BOTTOM OF THE COMPARTMENTAL WALL FRAMING SHALL BE 2X4 @ 16" O.C., MINIMUM, U.O.N.

19. PROVIDE COMBUSTION AIR FOR WATER HEATER W/1 1/2" FOR BOTTOM OF THE COMPARTMENT

20. ABS LINES TO BE PROVIDED FROM SINKS, SHOWERS, LAUNDRY, AND TUBS TO GREYWATER TANK, NO KITCHENS AND BARS TO DRAIN TO GREYWATER.

21. ALL PERIMETER WALLS SHALL BE 1-HR FIRE-RESISTANCE RATED CONSTRUCTION.

22. SAFETY GLAZING MUST BE PROVIDED AT HAZARDOUS LOCATIONS PER CBC 2406.4, INCLUDING, BUT NOT LIMITED TO, GLAZING WITHIN 18 INCHES OF A WALKING SURFACE GLAZING IN DOORS, AND WINDOWS ADJACENT TO DOORS. REVISE THE DOOR AND WINDOW SCHEDULES AS NECESSARY TO SHOW COMPLIANCE.

23. THE ACCESSIBLE ROUTE TO BE 5% MAXIMUM RUNNING SLOPE WITH 2% MAXIMUM CROSS SLOPE PER CBC 11B-402.2.

24. TOPS OF THE DINING SURFACES TO BE 28" TO 34" ABOVE THE FINISH FLOOR OR GROUND, CBC 11B-902.3.

25. PROVIDE TOE AND KNEE CLEARANCE UNDER THE ACCESSIBLE DINING SURFACE IN ACCORDANCE WITH CBC 11B-306 AND 11B-902.4.1. SEE CBC FIGURE 11B-306.3 FOR ILLUSTRATION.

12/01/20

06/21/21

02/09/21

DATE

1700

GENERAL NOTES

RCP LEGEND	
<div></div>	DROP CEILING
<div></div>	2X4 WALL
<div></div>	2X6 WALL
<div></div>	OVERHEAD
<div></div>	CMU WALL
1. ALL DIMENSIONS ARE MEASURED FROM CENTERLINE OF THE FIXTURE.	
2. ALL NON-DIMENSIONED FIXTURES ARE TO BE CENTERED IN THE CLEAR DIMENSION.	
3. CEILING HEIGHTS, WHERE SHOWN, INDICATE CLEAR FINISH DIMENSIONS.	
4. ALL NON-DIMENSIONED REGISTERS AND DIFFUSERS TO BE CENTERED IN THE CLEAR DIMENSION. VERIFY ALL REGISTER AND DIFFUSER LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.	
5. ALL CEILINGS SHALL BE GYPSUM BOARD, U.O.N.	

LEVEL1- PAVILLION 1

PLAN NOTES

Monarch Bay Estates

PROJECT ADDRESS
MONARCH BAY DRIVE
DANA POINT, CA 92629

CLIENT
MONARCH BAY HOA

DRAWING SET
AGENCY

foxlin
architecture
design
consulting

392 camino de estrella 949 325 3001 phone
san clemente, 949 203 3339 fax
california 92672 foxlin.com web
info@foxlin.com email

Job # 1700
Date 8/25/2021 10:30:20 AM
Size 24" x 36"
Revision # 1
Revision Permit Submittal 01

Sheet Title
FLOOR PLAN - PAVILLION

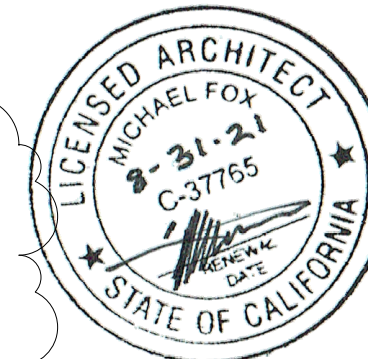
Sheet Number

A.B-110






GENERAL NOTES	
1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.	5. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
2. ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.), UNLESS OTHERWISE NOTED.	6. AS-BUILT CONDITIONS SHOULD BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.
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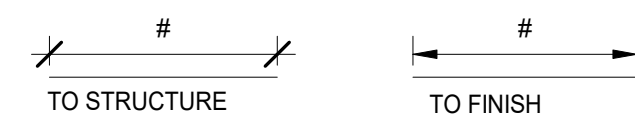
Monarch Bay Estates	12/01/20
MONARCH BAY DRIVE	06/21/21
DANA POINT, CA 92629	02/09/21
MONARCH BAY HOA	DATE
1700	DATE

B Coastal Submittal 02	FL	COASTAL SUBMITTAL	12/01/20
1 Permit Submittal 01	FL	PERMIT SUBMITTAL	06/21/21
C Coastal Submittal 03	FL	COASTAL SUBMITTAL	02/09/21
# DISPOSITION	BY	ISSUED TO	DATE
REVISION SCHEDULE			





- ### RCP LEGEND
- | | |
|---|--------------|
|  | DROP CEILING |
|  | 2X4 WALL |
|  | 2X6 WALL |
|  | OVERHEAD |
|  | CMU WALL |
1. ALL DIMENSIONS ARE MEASURED FROM CENTERLINE OF THE FIXTURE.
 2. ALL NON-DIMENSIONED FIXTURES ARE TO BE CENTERED IN THE CLEAR DIMENSION.
 3. CEILING HEIGHTS, WHERE SHOWN, INDICATE CLEAR FINISH DIMENSIONS.
 4. ALL NON-DIMENSIONED REGISTERS AND DIFFUSERS TO BE CENTERED IN THE CLEAR DIMENSION. VERIFY ALL REGISTER AND DIFFUSER LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
 5. ALL CEILINGS SHALL BE GYPSUM BOARD, U.O.N.

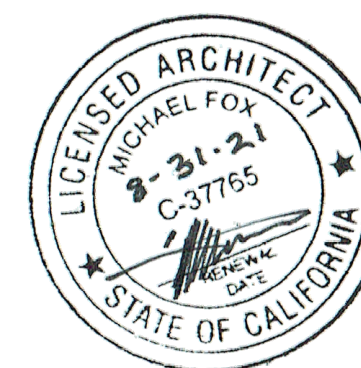


1. ALL DOORS AND WINDOWS DIMENSIONED TO CENTERLINE OF CLEAR OPENING. ALL NON-DIMENSIONED WINDOWS TO BE CENTERED IN THE CLEAR OPENING. WHERE LOCATION OF WINDOWS AND DOORS ARE NOT DIMENSIONED, THEY SHALL BE PLACED STRAIGHT ON, FINISH OF ADJACENT WALL AS INDICATED ON DRAWINGS.
2. ALL CASEWORK DIMENSIONS TO FACE OF FINISH.
3. ALL INSULATION MATERIALS SHALL BE CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATION. ALL EXTERIOR DOORS AND WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACE SHALL BE FULL WEATHER-STRIPPED.
4. ALL DECK SURFACES SHALL BE SLOPED A MINIMUM OF 1/4" PER 12" U.O.N.
5. EXTERIOR DOORS ONLY TO OPEN OUTWARDS IF EXTERIOR DOOR LANDING IS NOT MORE THAN 0.5' LOWER THAN THE DOOR THRESHOLD.
6. MANUFACTURED DOORS AND WINDOWS SHALL BE CERTIFIED AND LABELED INDICATED COMPLIANCE WITH THE APPLICABLE INFILTRATION STANDARDS. CAULK PLUMBING AND ELECTRICAL PENETRATIONS. ALL WINDOW AND DOOR FRAMES, BETWEEN WALL SOLEPLATES AND FLOORS, AND ALL OTHER OPENINGS IN THE ENVELOPE.
7. ALL EXTERIOR OPENINGS (AND OPENINGS BETWEEN HEAD AND LINEAR WALLS) SHALL BE PROPERLY WEATHER-STRIPPED, CERTIFIED AND LABELED PROVIDE VINYL BEAD TYPE WEATHER STRIPPING AT THESE DOORS AND WINDOWS, ALL SIDES OF THE DOOR MUST BE WEATHERSTRIPPED, INCLUDING THE THRESHOLD.
8. CAULK TO SEAL JOINTS IN BUILDING EXTERIOR 1/8" OR GREATER TO PREVENT AIR INFILTRATION.
9. WHERE REQUIRED, PROVIDE MINIMUM INSULATION OF R-13 AT EXTERIOR WALLS, AND R-30 IN ROOF AND CEILING AREAS.
10. PROVIDE WOOD BLOCKING AS REQUIRED AT ALL WALL BASE INSTALLATIONS. REFER TO DETAIL SHEETS FOR WALL BASE DETAILS.
11. PROVIDE ADDITIONAL PLYWOOD SHEATHING ON ALL WALLS TO RECEIVE PLYWOOD SHEAR-WALL SHEATHING TO COMPLETELY FLESH OUT SUBSTRATE SURFACE(S). ADDITIONAL SHEATHING SHALL EXACTLY MATCH THE THICKNESS OF THE SHEAR-WALL SHEATHING REQUIRED. ADDITIONAL SHEATHING SHALL CONTINUE ALONG WALL UNTIL JUNCTION WITH A PERPENDICULAR WALL OR END OF WALL, OR AS DIRECTED BY DESIGNER.
12. SHEATHING OR PROVIDE SUBSTRATE AS REQUIRED TO PROVIDE SLOPES AS INDICATED AND POSITIVE DRAINAGE TOWARDS DRAINS.
13. STUCCO OVER WOOD SHEATHING SHALL INCLUDE TWO LAYERS OF GRADE "D" BUILDING PAPER.
14. ALL WALL FRAMING SHALL BE 2X4 @ 16" O.C., MINIMUM, U.O.N.
15. ALL GYPSUM BOARD SHALL BE 5/8" THICK, TYPE "X", U.O.N.
16. ALL GYPSUM AND/OR PLASTER SURFACES SHALL BE SMOOTH, CONTINUOUS, FREE OF IMPERFECTIONS, AND WITHOUT VISIBLE JOINTS.
17. SOUND PROOF ALL AREAS OF NEW CONSTRUCTION, INCLUDING ALL WALLS AND FLOORS AFFECTED BY RENOVATION.
18. PROVIDE COMBUSTION AIR FOR WATER HEATER W/12" FOR BOTTOM OF THE COMPARTMENT WALL FRAMING SHALL BE 2X4 @ 16" O.C. MINIMUM, U.O.N.
19. PROVIDE COMBUSTION AIR FOR WATER HEATER W/12" FOR ASS BOTTOM OF THE COMPARTMENT
20. ABS LINES TO BE PROVIDED FROM SINKS, SHOWERS, LAUNDRY AND TUBS TO THE SEWAGE TANK, NO KITCHENS AND BARS TO DRAIN TO GREY WATER.
21. ALL PARTITION WALLS SHALL BE 1-HR FIRE-RESISTANCE-RATED CONSTRUCTION.
22. SAFETY GLAZING MUST BE PROVIDED AT HAZARDOUS LOCATIONS PER CBC 2406.4, INCLUDING, BUT NOT LIMITED TO, GLAZING WITHIN 18" OF THE GLAZED WALL SURFACE. GLAZING IN DOORS, AND WINDOWS ADJACENT TO DOORS. REVISE THE DOOR AND WINDOW SCHEDULES AS NECESSARY TO SHOW COMPLIANCE.
23. THE ACCESSIBLE ROUTE TO BE 5% MAXIMUM RUNNING SLOPE WITH 2% MAXIMUM SLOPE PER CBC 11B-402.2.
24. TOPS OF THE DINING SURFACES TO BE 28" TO 34" ABOVE THE FINISH FLOOR OR GROUND. CBC 11B-902.3.
25. PROVIDE TOE AND KNEE CLEARANCE UNDER THE ACCESSIBLE DINING SURFACE IN ACCORDANCE WITH CBC 11B-902.1 TO 11B-902.4.1. SEE CBC FIGURE 11B-308.3 FOR ILLUSTRATION.

1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.
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6. DRAWINGS REPRESENT DESIGN INTENT ONLY - CONTRACTOR RESPONSIBLE FOR MEANS AND METHODS.

GENERAL NOTES

B	Coastal Submittal 02	FL	COASTAL SUBMITTAL	12/01/20
1	Permit Submittal 01	FL	PERMIT SUBMITTAL	06/21/21
C	Coastal Submittal 03	FL	COASTAL SUBMITTAL	02/09/21
#	DISCUSSION	BY	ISSUED TO	DATE
			REVISION SCHEDULE	



PROJECT ADDRESS	CLIENT	DRAWING SET
MONARCH BAY DRIVE DANA POINT, CA 92629	MONARCH BAY HOA	AGENCY



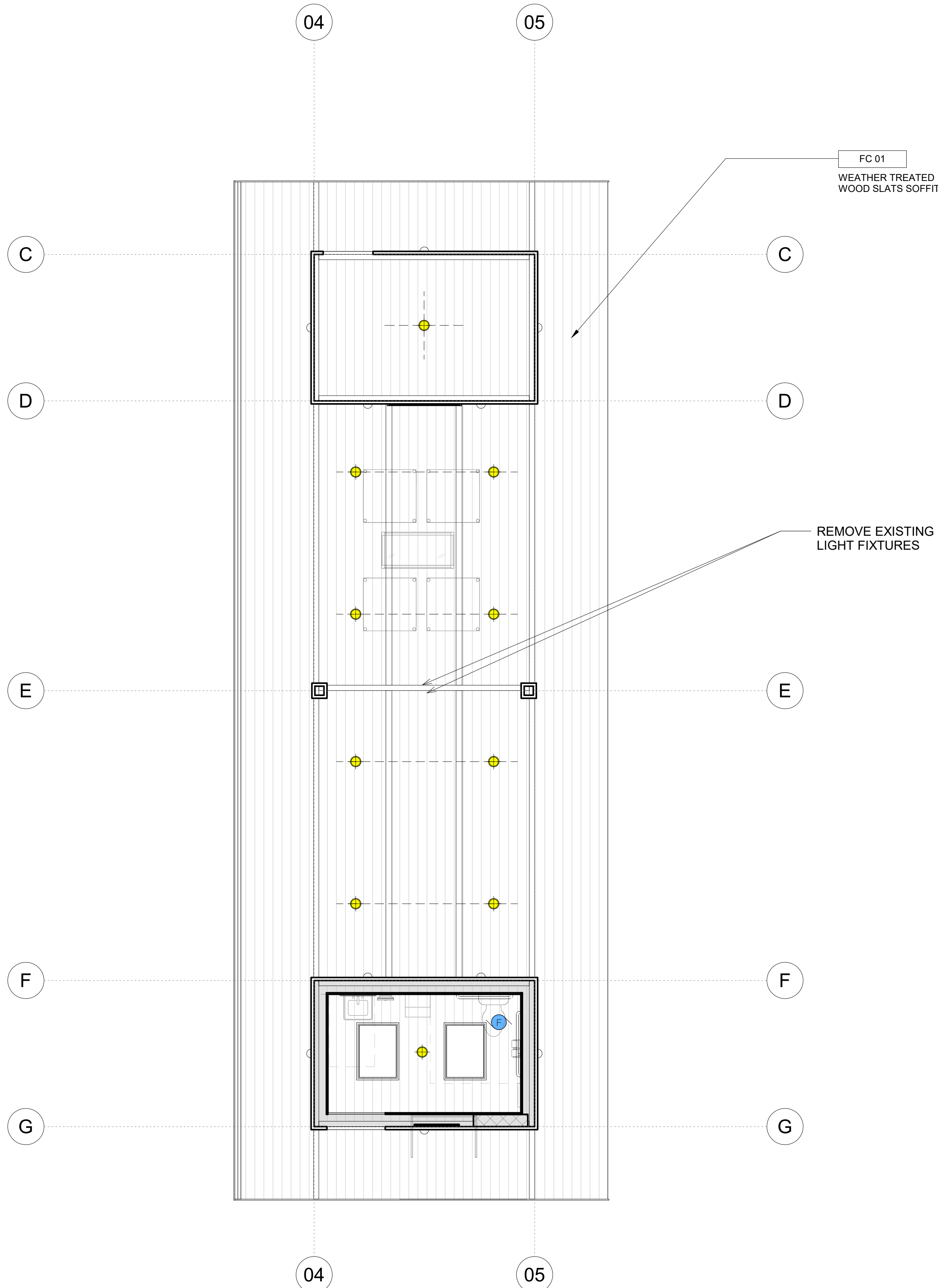
392 camino de estrella 949 325 3001 phone
san clemente, 949 203 3339 fax
california 92672 foxlin.com web

Job #	1700	Size	24" x 36"	Revision #	1
Date	8/25/2021 10:30:23 AM				
				Permit Submittal 01	

Sheet Title
ENLARGED FLOOR PLAN - PAVILLION

Sheet Number

A.B-111



KEYNOTE LEGEND	
KEY	KEYNOTE TEXT
FC 01	WEATHER TREATED WOOD SLATS SOFFIT

ELECTRICAL KEY	
	220V OUTLET
	OUTLET (*GFCI, AFCI, HEIGHT IF NON-STANDARD)
	QUAD OUTLET
	400 VOLT VEHICLE OUTLET
	QUAD FLOOR OUTLET
	WATERPROOF GFCI OUTLET (50A, 100V/240V RV HOOKUP)
	SWITCH (3 = THREE WAY SWITCH) (4 = FOUR WAY SWITCH)
	DIMMER SWITCH (3 = THREE WAY SWITCH) (4 = FOUR WAY SWITCH)
	MOTION SWITCH
	ETHERNET/TELEPHONE
	EXHAUST FAN
	SMOKE DETECTOR
	CO DETECTOR
	GARBAGE DISPOSAL
	TV RECESSED OUTLET (*HEIGHT IF NON-STANDARD)
	SURFACE MOUNTED LIGHT
	RECESSED CEILING CAN
	LED STRIP FIXTURE
	RECESSED CEILING SPOT FIXTURE
	WATERPROOF RECESSED CEILING FIXTURE
	WALL MOUNTED FIXTURE
	RECESSED WALL FIXTURE
	PENDANT FIXTURE WITH PULL CHAIN
	PENDANT FIXTURE
	FAN/LIGHT COMBO FIXTURE
	CHANDELIER FIXTURE
	DUPLEX OUTLET
	DUPLEX FLOOR OUTLET

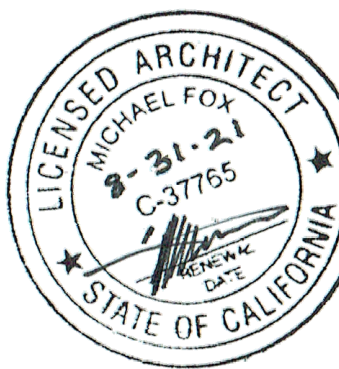
ELECTRICAL NOTES	
1.	SMOKE DETECTORS: SHALL BE WIRED TO THE BUILDING BE EQUIPPED WITH BATTERY BACKUP, AND EMIT A SIGNAL WHEN THE BATTERY IS LOW. SMOKE ALARMS SHALL BE INTERCONNECTED, SO THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE WITH OTHERS.
2.	CARBON MONOXIDE DETECTORS: SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. ALARMS SHALL BE HARDWIRED FROM THE BUILDING POWER SUPPLY AND EQUIPPED WITH BATTERY BACKUP. DETECTORS SHALL MEET U.L. 2034 AND/OR, NFPA 720 STANDARDS. 2019 CALIFORNIA RESIDENTIAL CODE CHAPTER 3 SEC. R315
3.	RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS SHALL NOT BE SCREW-BASED
4.	BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS: AT LEAST ONE LUMINAIRE IN EACH SPACE SHALL BE CONTROLLED BY A VACANCY SENSOR
5.	THE MAIN ELECTRICAL SERVICE PANEL SHALL NOT BE OF A TYPE WITH A CENTER-FED MAIN CIRCUIT BREAKER AND SHALL INCLUDE RESERVED SPACE ALLOWING FOR INSTALLATION OF DOUBLE-POLE CIRCUIT BREAKERS FOR A FUTURE SOLAR PHOTOVOLTAIC SYSTEM. SUCH RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER OR MAIN CIRCUIT BREAKER LOCATION. THE RESERVED SPACE SHALL BE PERMANENTLY AND VISIBLY MARKED AS "FOR FUTURE SOLAR PHOTOVOLTAIC."
6.	THE MAIN ELECTRICAL SERVICE PANEL SHALL INCLUDE RESERVED SPACE ALLOWING FOR INSTALLATION OF A CIRCUIT BREAKER FOR A FUTURE ELECTRIC VEHICLE CHARGING SYSTEM. THE RESERVED SPACE SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE"

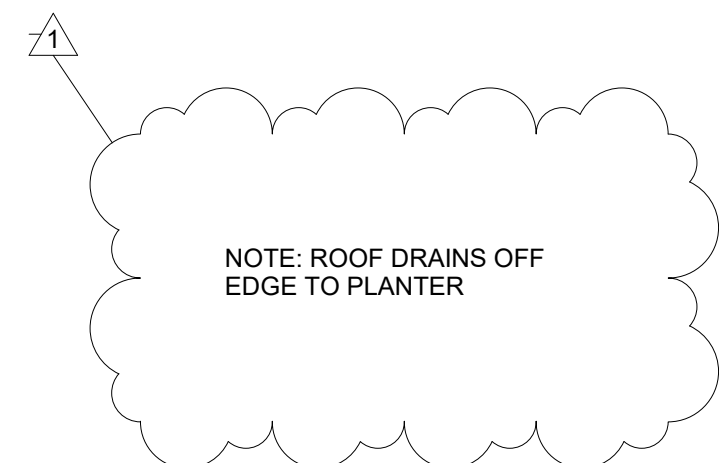
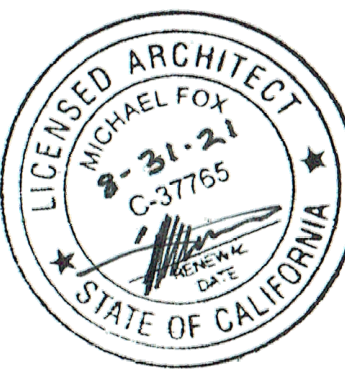
RCP LEGEND	
	DROP CEILING
	2X4 WALL
	2X6 WALL
	OVERHEAD
	CMU WALL
1.	ALL DIMENSIONS ARE MEASURED FROM CENTERLINE OF THE FIXTURE
2.	ALL NON-DIMENSIONED FIXTURES ARE TO BE CENTERED IN THE CLEAR DIMENSION
3.	CEILING HEIGHTS, WHERE SHOWN, INDICATE CLEAR FINISH DIMENSIONS
4.	ALL NON-DIMENSIONED REGISTERS AND DIFFUSERS TO BE CENTERED IN THE CLEAR DIMENSION. VERIFY ALL REGISTER AND DIFFUSER LOCATIONS WITH ARCHITECT PRIOR TO INSTALLATION.
5.	ALL CEILINGS SHALL BE GYPSUM BOARD, U.O.N.

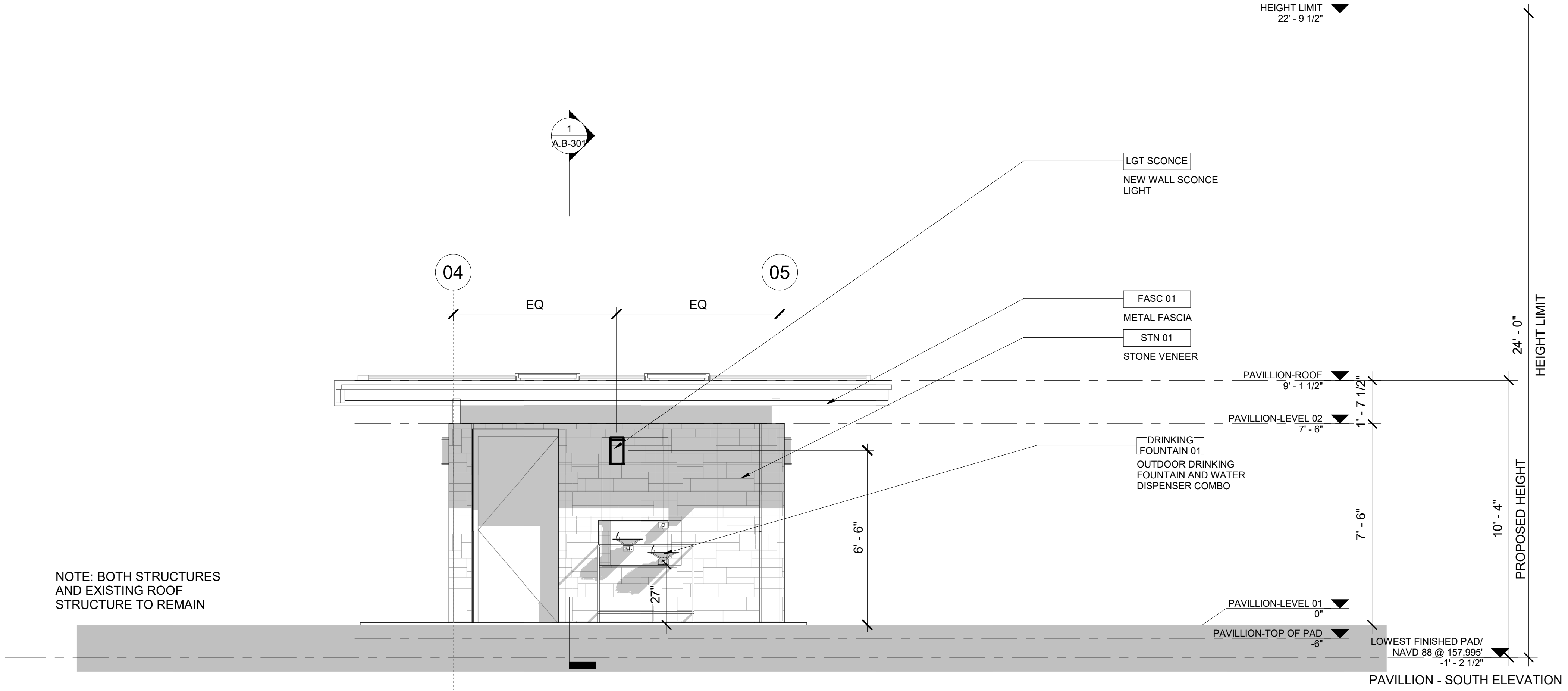
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3.	AS-BUILT CONDITIONS SHOULD BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.
4.	CONSTRUCTION DRAWINGS REPRESENT DESIGN INTENT ONLY. CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS.
5.	ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
6.	CONTRACTOR SHALL BE RESPONSIBLE FOR MEANS AND METHODS.

Monarch Bay Estates	GENERAL NOTES
MONARCH BAY DRIVE DANA POINT, CA 92629	
MONARCH BAY HOA	
1700	

1	Permit Submittal 01	FL	PERMIT SUBMITTAL	06/21/21	DATE
#	DISCUSSION	BY	ISSUED TO		
			REVISION SCHEDULE		



[illegible]



KEYNOTE LEGEND	
KEY	KEYNOTE TEXT
BASE CAB 01	BASE CABINET
BEAM 01	PANITED EXISTING BEAM
CTR 01	CABINET COUNTERTOP
DRINKING FOUNTAIN 01	OUTDOOR DRINKING FOUNTAIN AND WATER DISPENSER COMBO
FASC 01	METAL FASCIA
LGT SCONCE	NEW WALL SCONCE LIGHT
SL PNL	SOLAR PANELS
STN 01	STONE VENEER

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GENERAL NOTES

Monarch Bay Estates

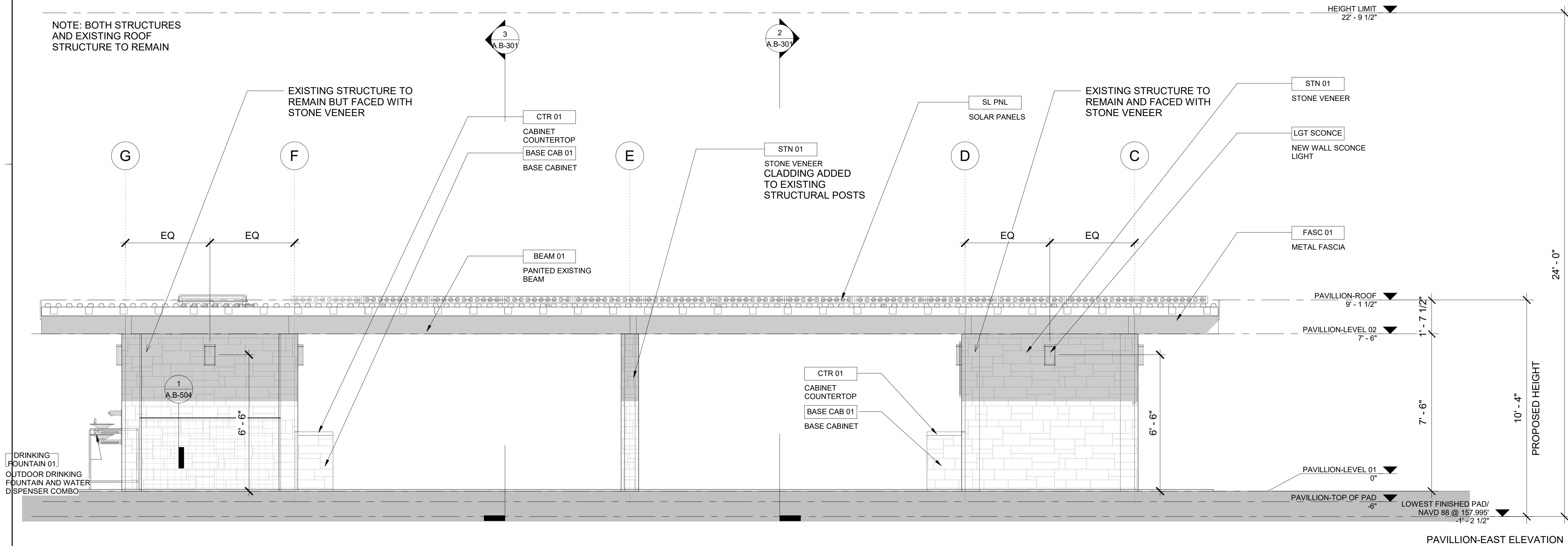
MONARCH BAY DRIVE

DANA POINT, CA 92629

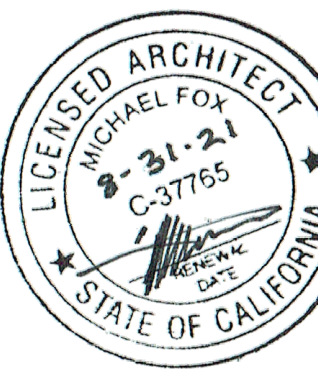
MONARCH BAY HOA

1700

NOTE: BOTH STRUCTURES AND EXISTING ROOF STRUCTURE TO REMAIN



REVISION SCHEDULE		DATE	BY	DESCRIPTION
B	Coastal Submittal 02	12/01/20	FL	COASTAL SUBMITTAL
1	Permit Submittal 01	06/21/21	FL	PERMIT SUBMITTAL
C	Coastal Submittal 03	02/09/21	FL	COASTAL SUBMITTAL



Monarch Bay Estates

PROJECT ADDRESS
MONARCH BAY DRIVE
DANA POINT, CA 92629

CLIENT
MONARCH BAY HOA

DRAWING SET
AGENCY

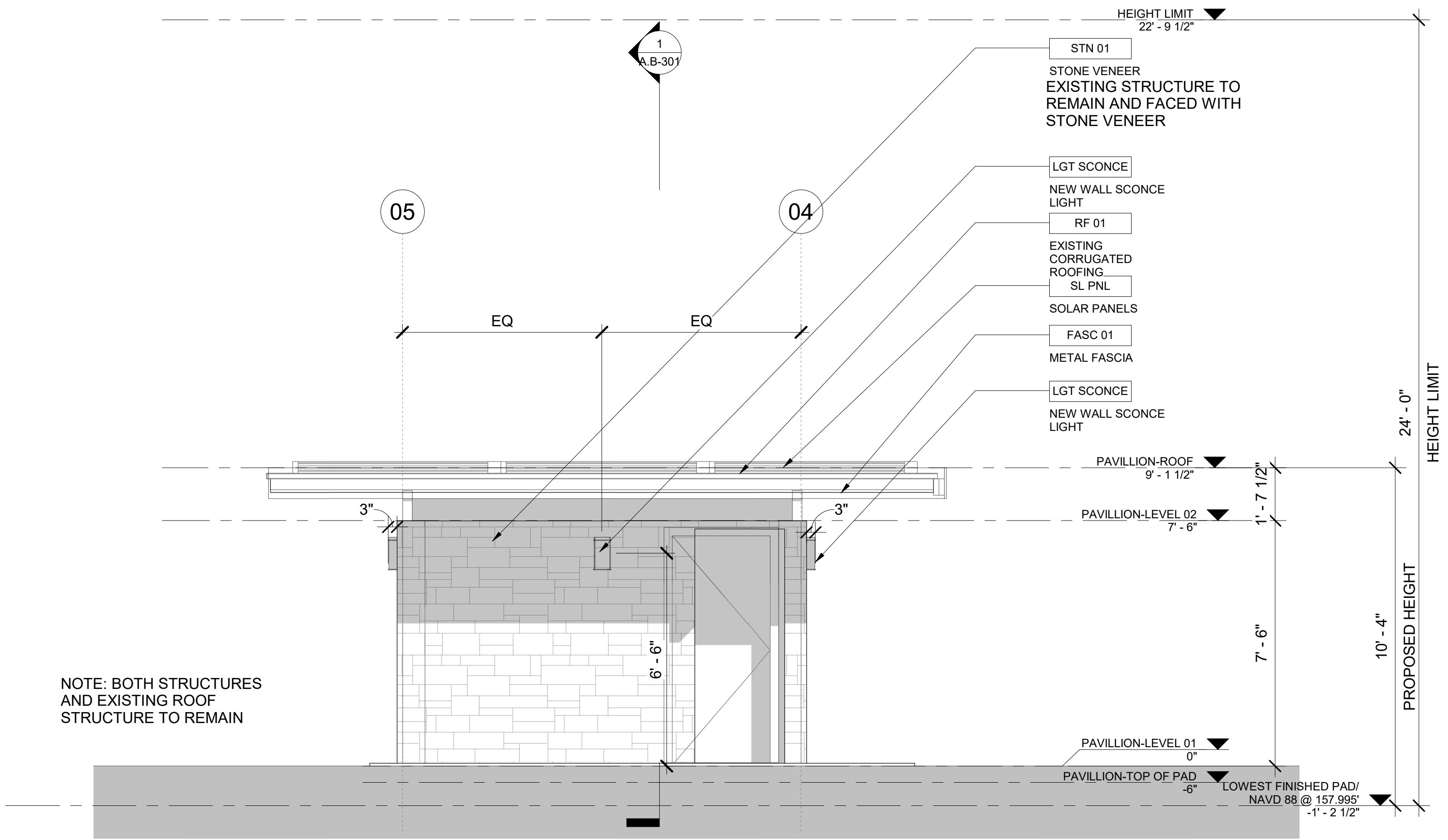
foxlin
architecture
design
consulting

392 camino de estrella 949 325 3001 phone
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Job # 1700
Date 8/25/2021
Size 24" x 36"
Revision # 1
Permit Submittal 01

Sheet Title
SOUTH AND EAST ELEVATIONS - PAVILLION

Sheet Number
A.B-201



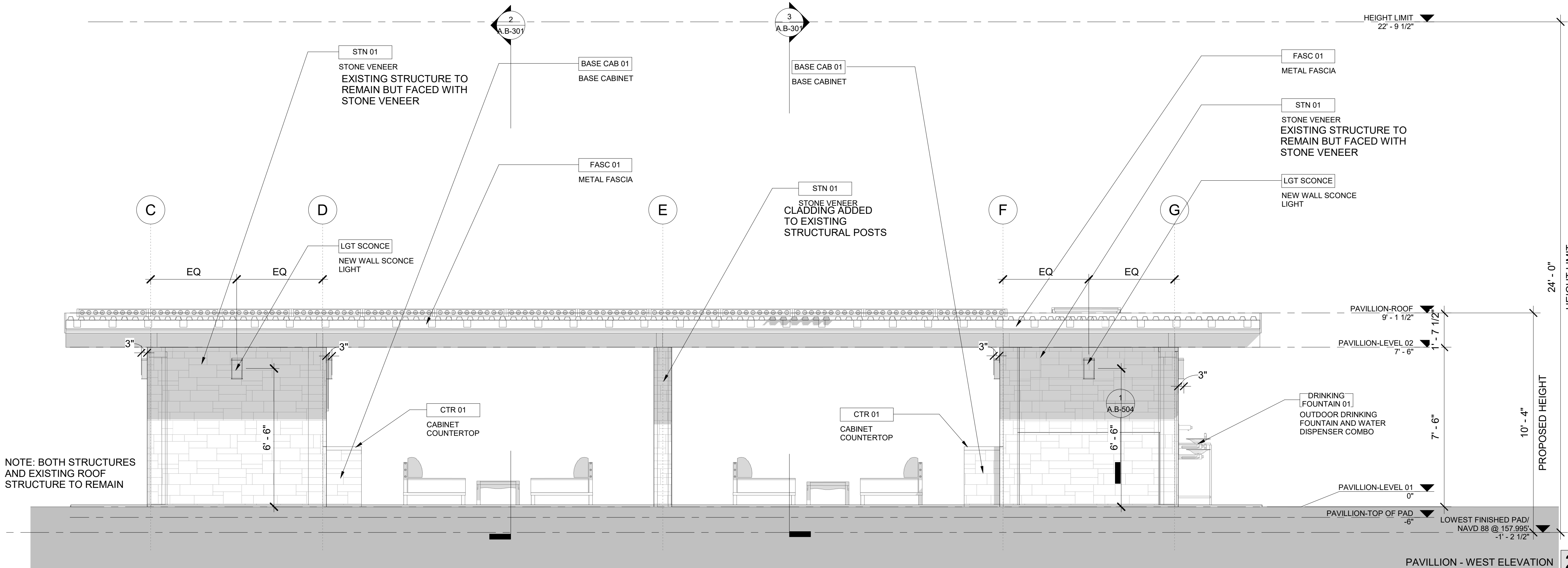
KEYNOTE LEGEND	
KEY	KEYNOTE TEXT
BASE CAB 01	BASE CABINET
CTR 01	CABINET COUNTERTOP
DRINKING FOUNTAIN 01	OUTDOOR DRINKING FOUNTAIN AND WATER DISPENSER COMBO
FASC 01	METAL FASCIA
LGT SCONCE	NEW WALL SCONCE LIGHT
RF 01	EXISTING CORRUGATED ROOFING
SL PNL	SOLAR PANELS
STN 01	STONE VENEER

- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.
- ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.), UNLESS OTHERWISE NOTED.
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- ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
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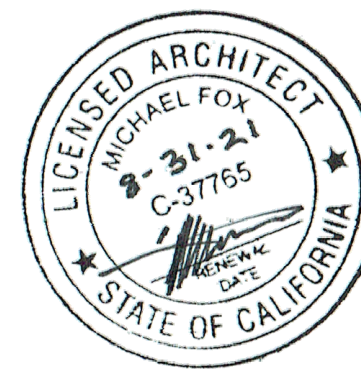
GENERAL NOTES

Monarch Bay Estates
MONARCH BAY DRIVE
DANA POINT, CA 92629
MONARCH BAY HOA

1700



#	DISCRIPTION	BY	ISSUED TO	DATE
1	Permit Submittal 01	FL	PERMIT SUBMITTAL	06/21/21
2	Permit Submittal 02	FL	COASTAL SUBMITTAL	12/01/20
3	Permit Submittal 03	FL	COASTAL SUBMITTAL	02/09/21



Monarch Bay Estates

PROJECT ADDRESS
MONARCH BAY DRIVE
DANA POINT, CA 92629

CLIENT
MONARCH BAY HOA

DRAWING SET
AGENCY

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architecture
design
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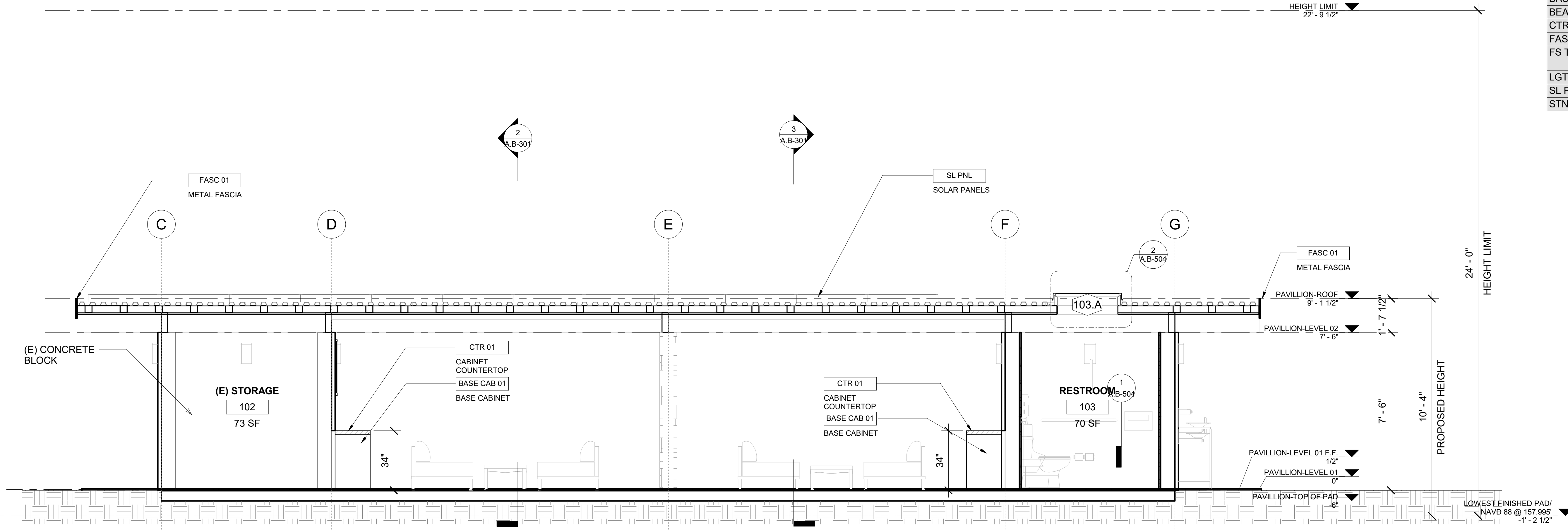
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Job # 1700
Size 24" x 36"
Date 8/25/2021 10:31:10 AM
Revision # 1

Permit Submittal 01

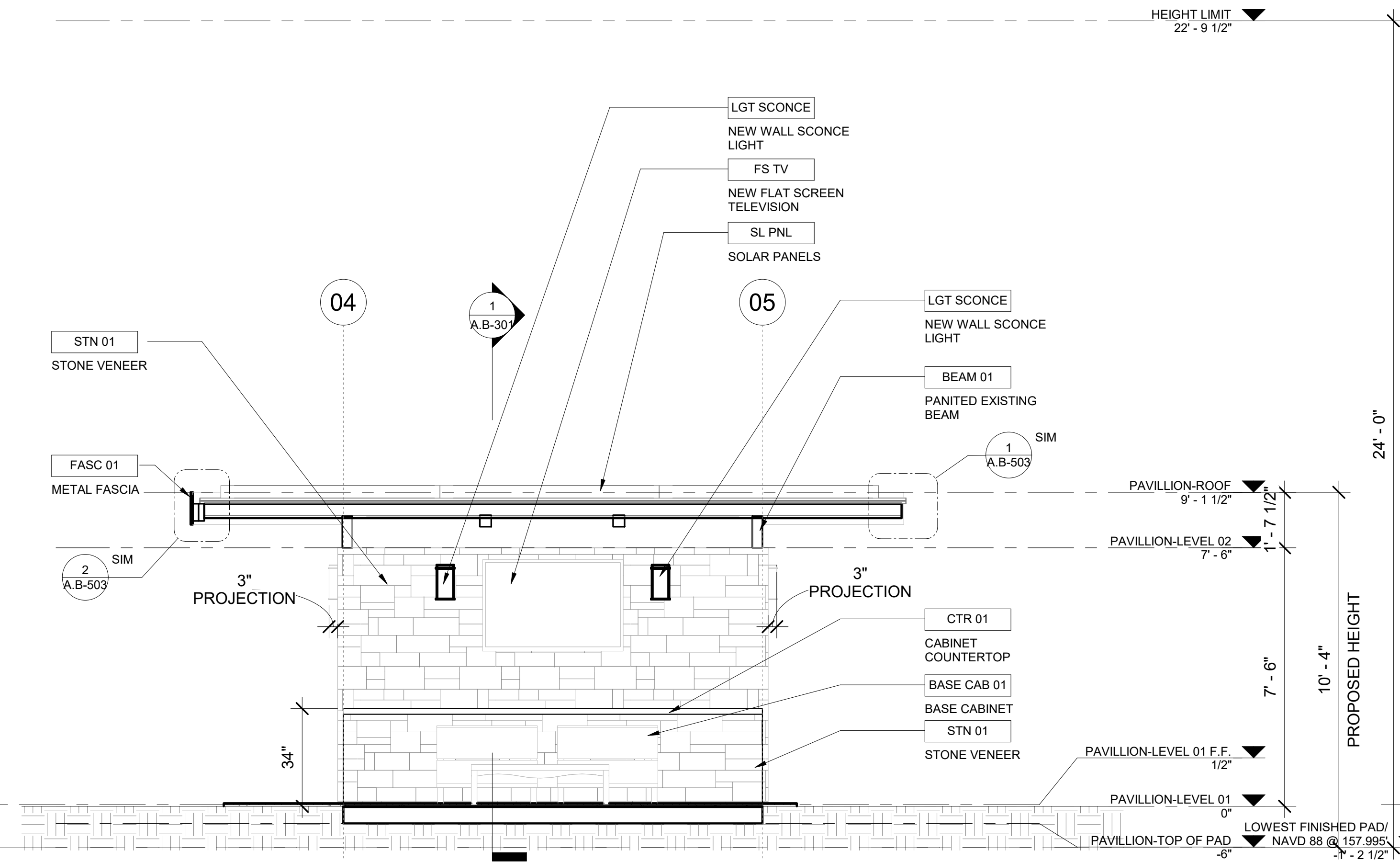
Sheet Title
NORTH AND WEST ELEVATIONS - PAVILLION

Sheet Number
A.B-202



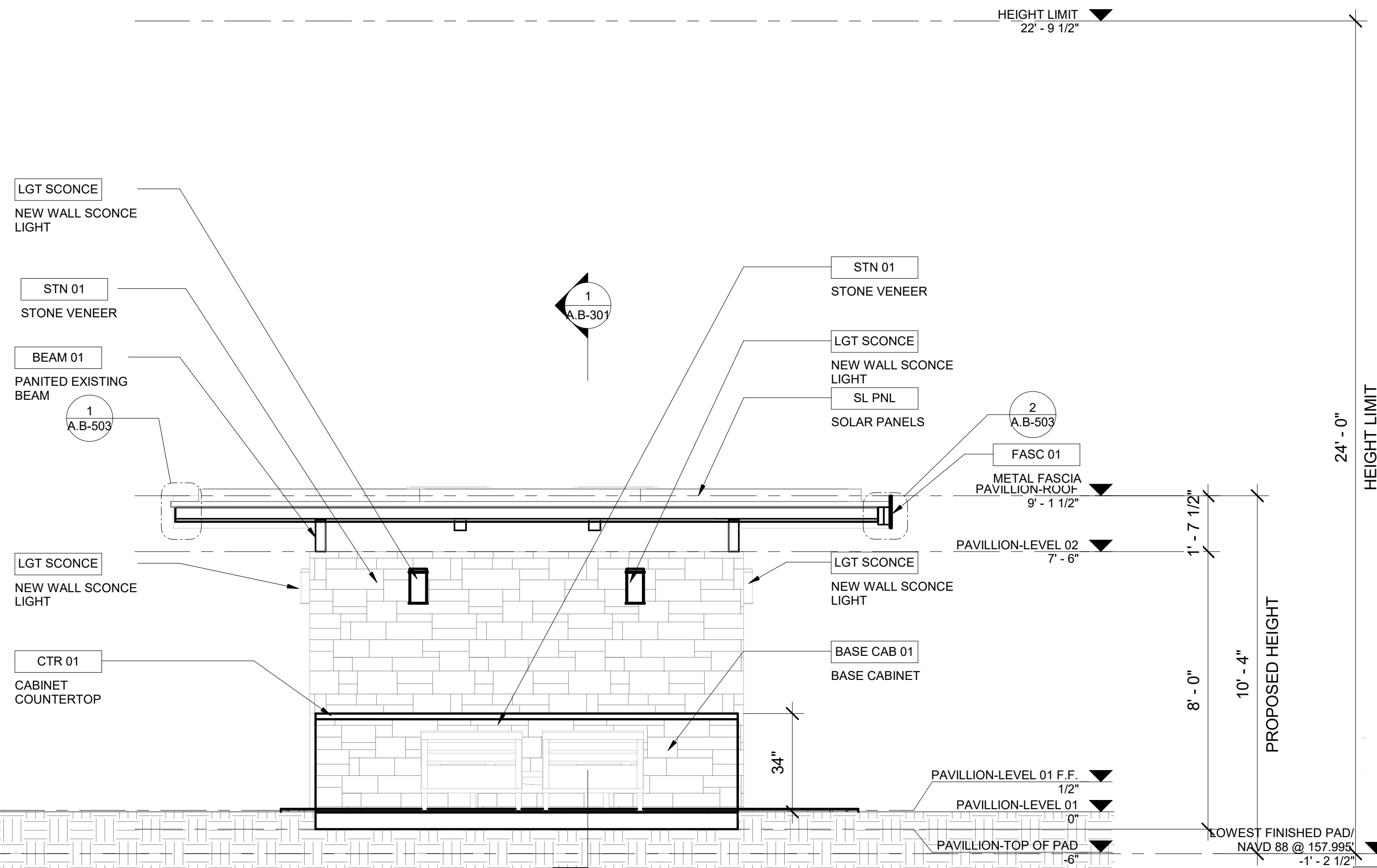
PAVILLION SECTION 1

1



PAVILLION SECTION 2

2



PAVILLION SECTION 3

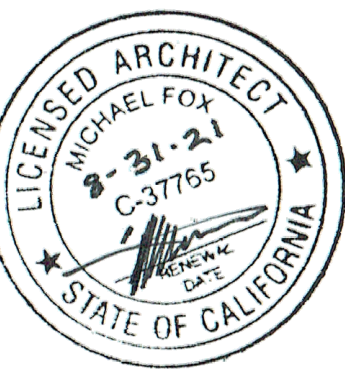
3

KEYNOTE LEGEND	
KEY	KEYNOTE TEXT
BASE CAB 01	BASE CABINET
BEAM 01	PANITED EXISTING BEAM
CTR 01	CABINET COUNTERTOP
FASC 01	METAL FASCIA
FS TV	NEW FLAT SCREEN TELEVISION
LGT SCONCE	NEW WALL SCONCE LIGHT
SL PNL	SOLAR PANELS
STN 01	STONE VENEER

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Monarch Bay Estates	1700
MONARCH BAY DRIVE	
DANA POINT, CA 92629	
MONARCH BAY HOA	

DISCRIPTION	BY	DATE
B Coastal Submittal 02	FL	12/01/20
1 Permit Submittal 01	FL	06/21/21
C Coastal Submittal 03	FL	02/09/21



Monarch Bay Estates

PROJECT ADDRESS

MONARCH BAY DRIVE
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CLIENT

MONARCH BAY HOA

DRAWING SET

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Date

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Size

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Revision #

1

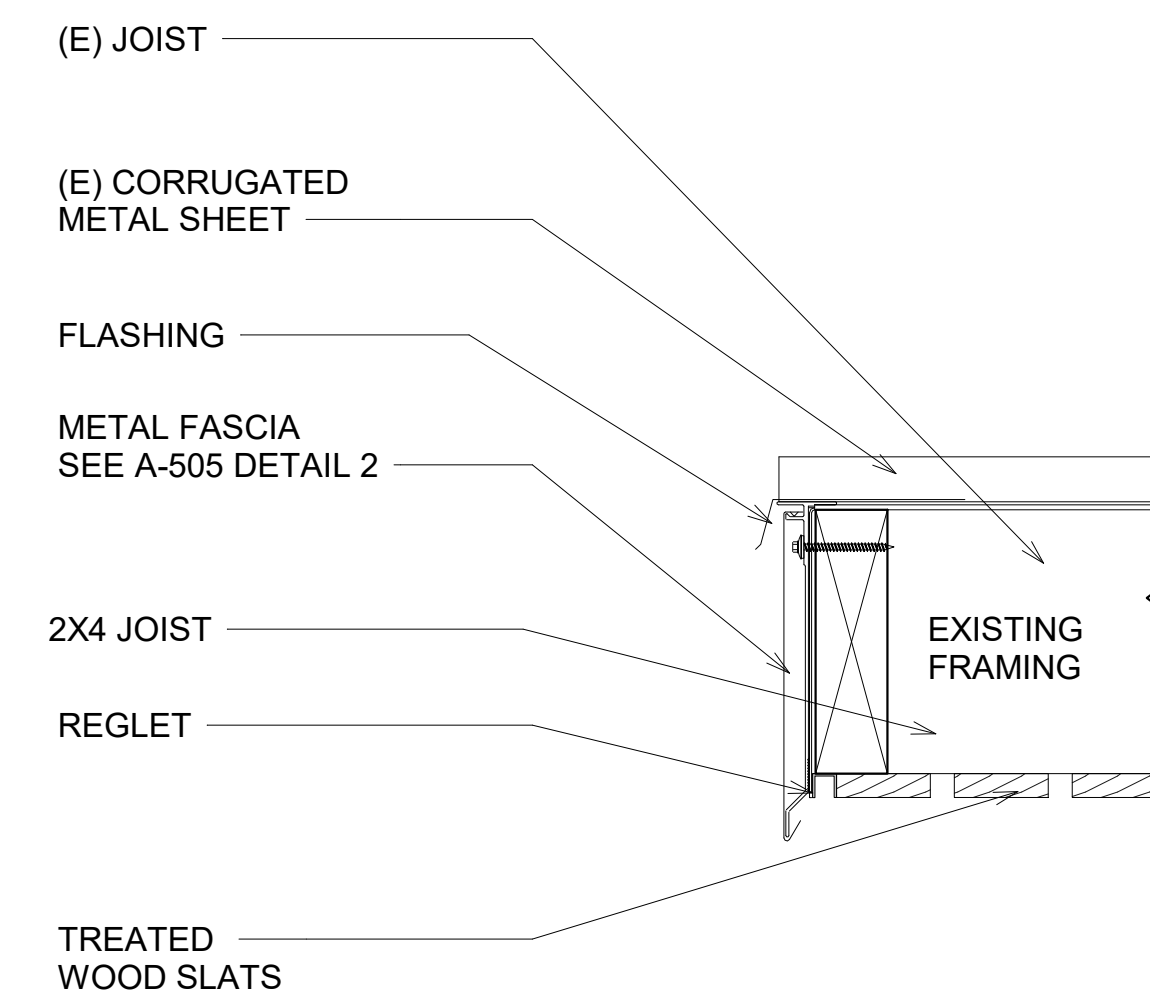
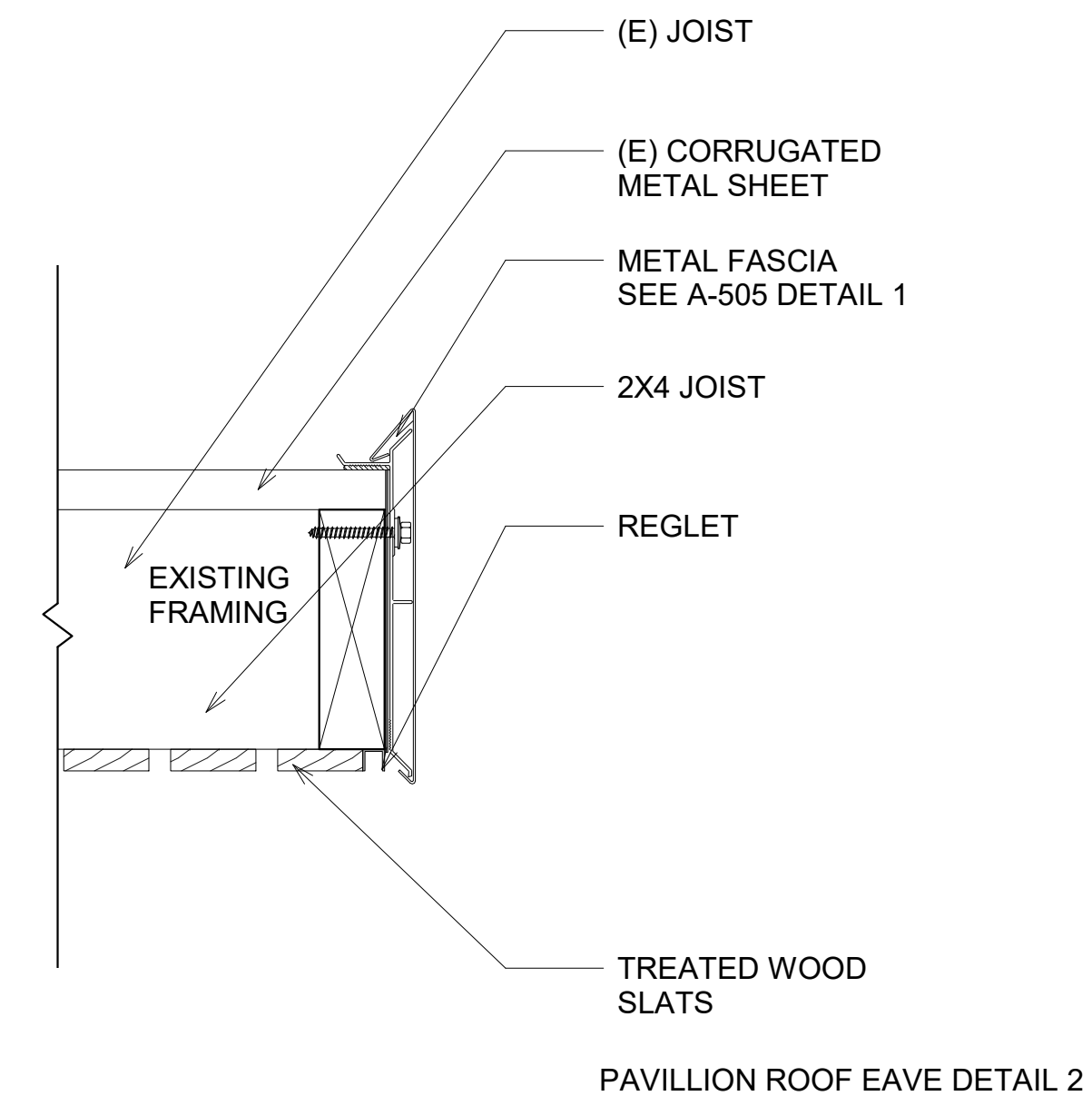
Permit Submittal 01

Sheet Title

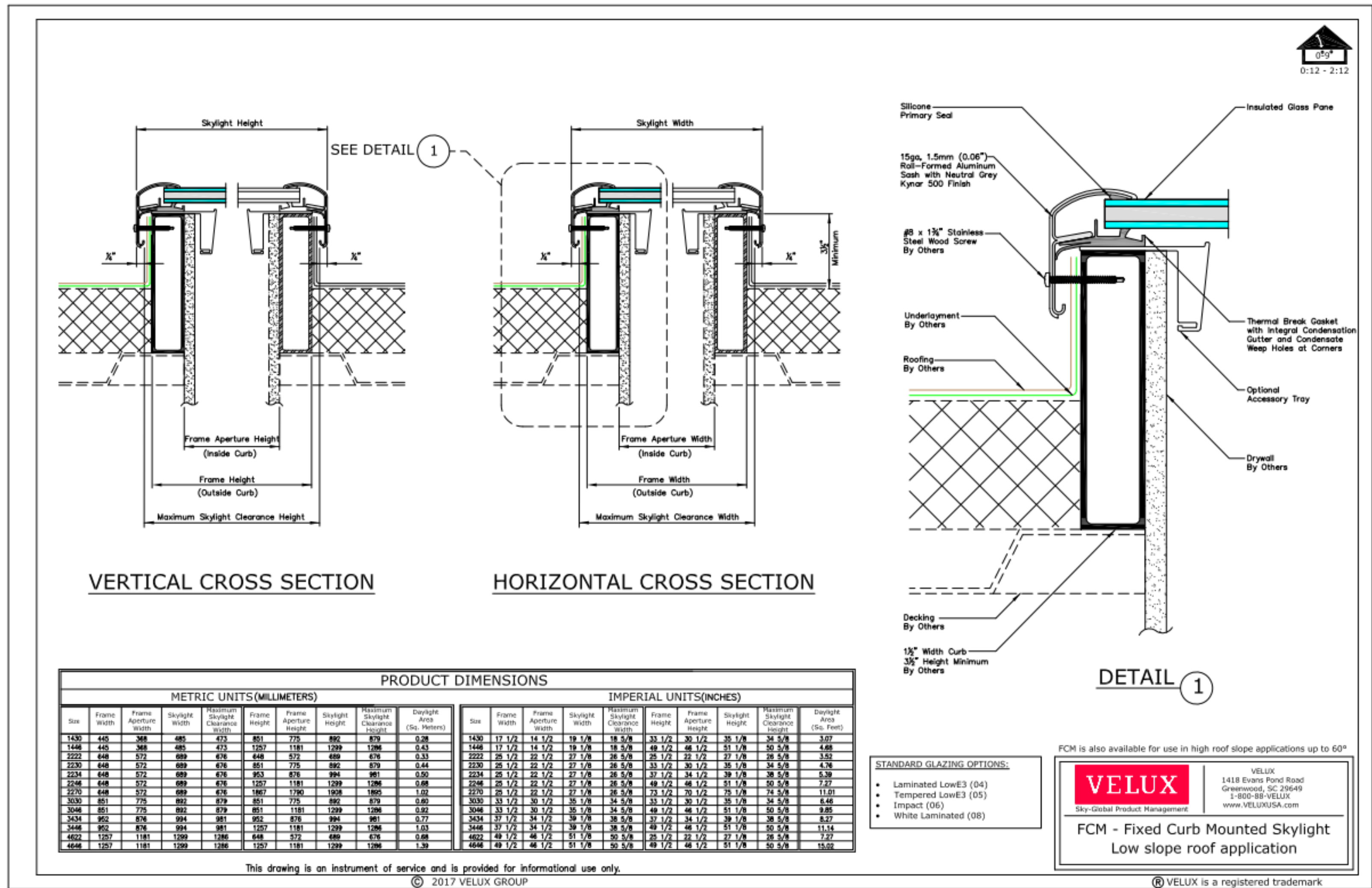
BUILDING SECTIONS - PAVILLION

Sheet Number

A.B-301

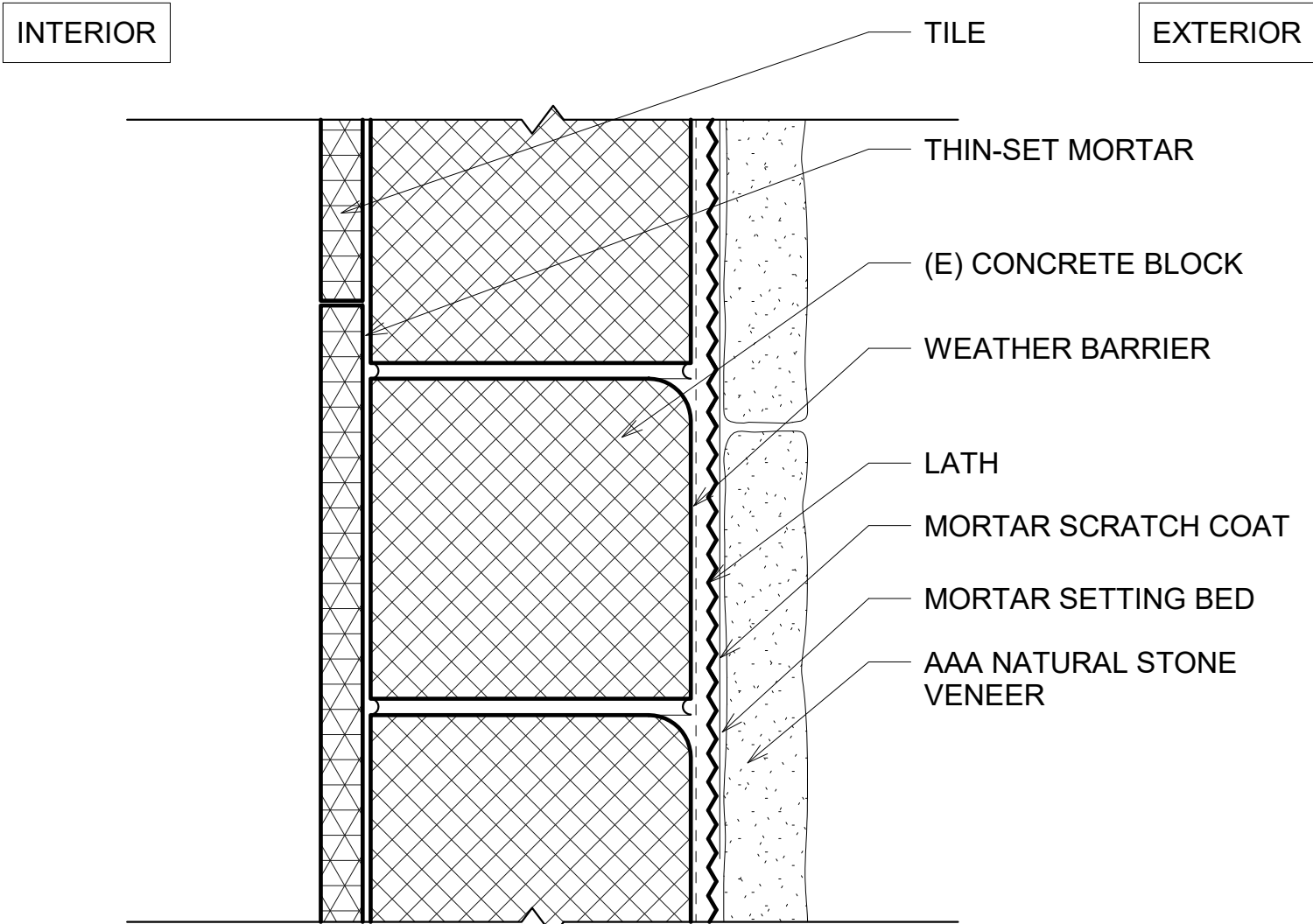


1



PAVILLION WINDOW DETAIL @ SKYLIGHT

2



PAVILLION WALL DETAIL

1

Pavillion Material Board



TREATED WOOD
SLATS



AAA NATURAL STONE -
AMERICAN MODERN/NEO
LEDGE:SAWN/ STELLA



METAL ERA -
ANCHOR TITE
FASCIA: DARK
BRONZE

Monarch Bay



1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN.	5. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
2. ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.), UNLESS OTHERWISE NOTED.	6. DRAWINGS REPRESENT DESIGN INTENT ONLY. CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS.
3. AS-BUILT CONDITIONS SHOULD BE VERIFIED ON SITE BEFORE PROCEEDING WITH THE WORK.	
4.	

Monarch Bay Estates	
MONARCH BAY DRIVE DANA POINT, CA 92629	
MONARCH BAY HOA	
1700	

1	Permit Submittal 01	FL	PERMIT SUBMITTAL	08/21/21
C	Coastal Submittal 03	FL	COASTAL SUBMITTAL	02/09/21
#	DISCRIPTION	BY	ISSUED TO	DATE
			REVISION SCHEDULE	

